Agenda 05-23-2024

Town of Pittsford Design Review & Historic Preservation Board AGENDA May 23, 2024

This agenda is subject to change.

Please take notice that the Town of Pittsford Design Review & Historic Preservation Board will hold the following meeting on Thursday, May 23, 2024, in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street, and beginning at 6:00PM local time.

HISTORIC PRESERVATION DISCUSSION

RESIDENTIAL APPLICATIONS: RETURNING

1 Sinclair Drive (14 Trumbull Lane)

Applicant is requesting design review for a 262.5-square-foot addition and balcony to the back of the home.

RESIDENTIAL APPLICATIONS: RENOVATIONS & ADDITIONS

35 Trowbridge Trail

Applicant is requesting design review for 224 square feet of additions to the front and rear of the home.

6 Windscape Park

Applicant is requesting design review for 2,594 square feet of additions to the existing home.

39 Rosewood Drive

Applicant is requesting design review for a 439-square-foot, two-story addition off the back of the home.

16 Elatia Circle

Applicant is requesting design review for a 400-square-foot covered deck addition on the back of the home.

5 Hilltop Drive

Applicant is requesting design review for a 90-square-foot addition to the back of the home.

10 Reitz Parkway

Applicant is requesting design review for approximately 300 square feet of additions to the second floor and rear of the home.

Agenda 05-23-2024

RESIDENTIAL APPLICATIONS: NEW HOMES

15 Bridleridge Farms

Applicant is requesting design review for a 3,135-square-foot, two-story home in the Bridleridge Farms Subdivision.

The next meeting is scheduled for Thursday, June 27, 2024, at 6PM.

Town of Pittsford Design Review & Historic Preservation Board MINUTES May 9, 2024

Minutes of the Town of Pittsford Design Review and Historic Preservation Board meeting held on Thursday, May 9, 2024, at 6:00PM local time. The meeting took place in the Lower-Level Meeting Room of Pittsford Town Hall, 11 S. Main Street.

PRESENT: Dave Wigg, Vice Chairman; Bonnie Salem; Kathleen Cristman; John

Mitchell; Paul Whitbeck

ABSENT: Dirk Schneider, Chairman; Jim Vekasy

ALSO PRESENT: Bill Zink, Building Inspector; Meghan Brooks, Building Department

Assistant; Robert Koegel, Town Attorney; Cathy Koshykar, Town Board

Liaison

ATTENDANCE: There were 8 members of the public present.

The Design Review and Historic Preservation Board (DRHPB) Vice Chairman Dave Wigg called the meeting to order at 6:00PM.

RESIDENTIAL APPLICATIONS: RENOVATIONS & ADDITIONS

1 Sinclair Drive (14 Trumbull Lane)

Applicant is requesting design review for a 262.5-square-foot addition and balcony to the back of the home.

Anthony Tefel of Element of Pride LLC introduced the application. Mr. Tefel stated that the existing home has a roofed deck that the applicant is seeking to turn into a den. From the new den to the corner, a new deck will then be constructed.

DRHPB Member Bonnie Salem asked for clarification on the work and asked if it is a two-story addition. Mr. Tefel stated that it extends over the entrance to a walkout basement.

DRHPB Vice Chairman Dave Wigg and DRHPB Member Paul Whitbeck asked if the intention is to duplicate the panel detailing and windows. Mr. Tefel confirmed that it is. He also noted that the patio underneath the current deck will stay the same.

Following further discussion on materials and elevations, the Board agreed that they needed the following information to make a decision:

- 1. The materials to be used (e.g., white vinyl railing)
- 2. The detailing of windows, trim, board framing, corner board, etc.
- 3. The dimensions of the work
- 4. Photo from the missing side front side

Upon submission of these materials, this application will return to the following meeting.

11 Alpine Drive

Applicant is requesting design review for the addition and removal of several windows and doors.

Robert Wright of 11 Alpine Drive introduced the application. Mr. Wright stated that they are looking to change some of the doors and windows. The siding will be repainted.

Board Member Salem noted that the interior layout reflects the reasoning behind some of the changes. Vice Chairman Wigg confirmed with Mr. Wright that they will be removing the shutters from all windows. The Board stated that they liked the changes overall.

DRHPB Vice Chairman Dave Wigg motioned to approve the addition and removal of several windows and doors as submitted. This motion was seconded by DRHPB Member Kathleen Cristman. Following a unanimous voice vote, the application was approved, none opposed.

15 Warder Drive

Applicant is requesting design review for a 102-square-foot addition to the front of the home.

Adam Percy of Quality Homes of Rochester introduced the application. Mr. Percy stated that they will be building out the existing porch and gave an overview of their building plans.

Vice Chairman Wigg confirmed that the triple windows will be removed. Mr. Percy stated that board and batten will be utilized on the lower half of the siding, in order to avoid trying to match the existing siding. Both the existing brick and the new board and batten will be white.

DRHPB Member Kathleen Cristman motioned to approve the 102-square-foot addition to the front of the home as submitted. This motion was seconded by DRHPB Member John Mitchell. Following a unanimous voice vote, the application was approved, none opposed.

COMMERCIAL APPLICATIONS: SIGNS

3001 (3025) Monroe Avenue

Applicant is requesting design review for an 11-square-foot sign for Blonsky Family Chiropractic in Springhouse Commons.

Adam Blonsky of Blonsky introduced the application. Mr. Blonsky stated that they will be adding a new sign to their new location storefront.

Board Member Whitbeck confirmed with Mr. Blonsky that the sign will be lit from above. After ascertaining its location within the plaza, the Board stated their appreciation for the simplicity of the design.

DRHPB Vice Chairman Dave Wigg motioned to approve the 11-square-foot sign for Blonsky Family Chiropractic in Springhouse Commons as submitted. This motion was seconded by DRHPB Member Paul Whitbeck. Following a unanimous voice vote, the application was approved, none opposed.

CERTIFICATES OF APPROPRIATENESS

181 Sylvania Road

Applicant is requesting a Certificate of Appropriateness, pursuant to Town Code Section 185-196, for the exterior renovation and construction of a deck and fireplace to a Designated Historic Landmark. This property is zoned Residential Neighborhood (RN).

Gaetano Abbate of Gaetano Abbate Contracting and Neal Barman of JOSH Landscape introduced the application. Mr. Abbate stated that they are returning for their Certificate of Appropriateness with modifications to the plans submitted at the previous meeting.

DHRPB Member Kathleen Cristman stated that she can tell that they have done a lot of work to bring out the best in the project. Vice Chairman Wigg asked Mr. Abbate to clarify why they cannot pull the atrium back. Mr. Abbate stated that because of the way the structure was constructed, bringing it flush would expose the foundation. As such, they will just be reglazing it. He then showed the Board a sample of the aluminum window option and noted that they will be duplicating the color in everything.

Board Salem stated that usually this kind of historic window is narrow. Mr. Abbate showed the width difference on the various windows currently around the home and stated that the new windows will all be a consistent width. He added that he did do research and it is just not feasible to try to repair the few original windows remaining, not to mention the cost of replacing all of them with new steel windows.

Vice Chairman Wigg stated that the public hearing is still open and asked if anyone from the public wished to speak. No one gave public comment.

Vice Chairman Wigg motioned to close the public hearing. This motion was seconded by Board Member Cristman. Following a unanimous voice vote, the motion was approved, none opposed.

The Board reviewed the previous meeting's commentary to ascertain that all corrections were made. Vice Chairman Wigg asked about the deck on the back of the home. Mr. Abbate stated that it would be made of real wood, but what type has yet to be decided and will depend on the price of wood and the remaining budget. After an inquiry from the Board, he noted that the pool is in great shape and does not need replacing at this time.

The Board, upon reading the resolution, approved for the applicant a Certificate of Appropriateness. The resolution was moved by DRHPB Member Bonnie Salem, seconded by DRHPB Vice Chairman Dave Wigg, and voted upon by the Board, as follows:

Paul Whitbeck voted Aye
Jim Vekasy voted Absent
John Mitchell voted Aye
Dave Wigg voted Aye
Bonnie Salem voted Aye
Kathleen Cristman voted Aye
Dirk Schneider voted Absent

The full adopted resolution is attached to the end of these minutes.

HISTORIC PRESERVATION DISCUSSION

DRHPB Member Kathleen Cristman stated she went to the Town Board meetings involving the Pittsford Oaks application, which was finally passed through the Tuesday two days prior. The final approved number of units was 175. She mentioned that there was a parking space dilemma near to the historic home and stated that she found it interesting how everyone had very strong opinions.

Following further discussion by the Board about the potential quality of construction, Town Attorney Robert Koegel stated that the design, materials, etc. were written in to be in the DRHPB's control. While the DRHPB will not have a say over the number of units, ratio of parking, and size of building, they will be able to have a say over the things that are design related.

04/25/2024 MEETING MINUTES REVIEW

The minutes of April 25, 2024, were approved following a motion by DRHPB Member Kathleen Cristman. This motion was seconded by DRHPB Member John Mitchell. Following a unanimous voice vote, the minutes were approved, none opposed.

Design Review and Historic Preservation Board Vice Chairman Dave Wigg closed the meeting at 7:30PM.

Respectfully submitted,

Meghan Brooks
Building Department Assistant
Secretary to the Design Review & Historic Preservation Board

OFFICIAL MINUTES ARE ON FILE IN THE OFFICE OF THE BUILDING DEPARTMENT



Town of Pittsford

Department of Public Works 11 South Main Street Pittsford, New York 14534

Permit # B24-00054

Phone: 585-248-6250 FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 1 Sinclair Drive PITTSFORD, NY 14534

Tax ID Number: 163.02-1-36

Zoning District: PUD Planned Unit Development

Owner: Cloverwood Senior Living, Inc Applicant: Element of Pride LLC

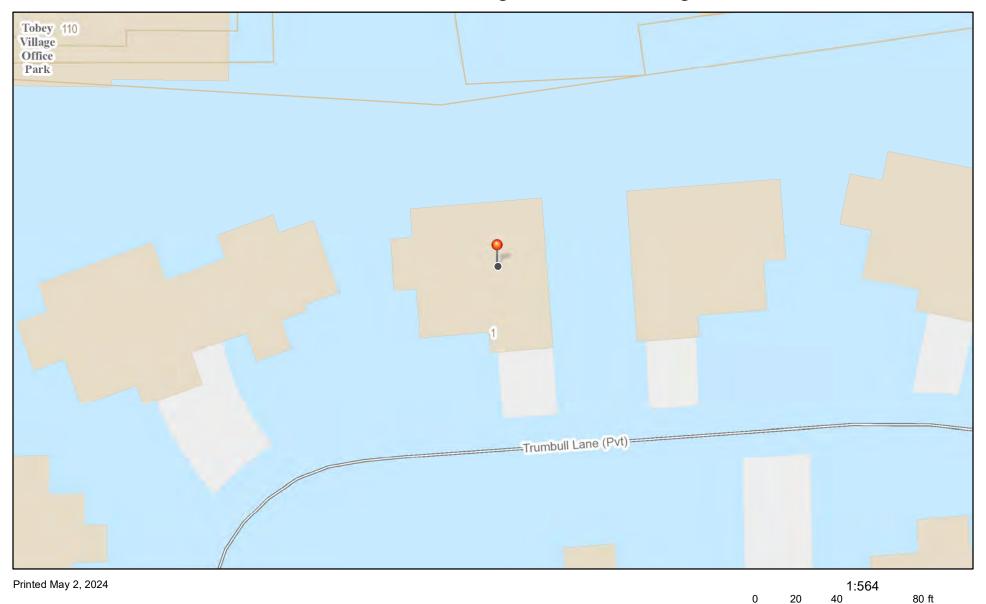
Application Type:

✓	Residential Design Review §185-205 (B)	Build to Line Adjustment §185-17 (B) (2)	
	Commercial Design Review §185-205 (B)	Building Height Above 30 Feet §185-17 (M)	
	Signage §185-205 (C)	Corner Lot Orientation §185-17 (K) (3)	
	Certificate of Appropriateness §185-197	Flag Lot Building Line Location §185-17 (L) (1) (c)	
	Landmark Designation §185-195 (2)	Undeveloped Flag Lot Requiremen §185-17 (L) (2)	ıts
	Informal Review		

Project Description: Applicant is requesting design review for a 262.5-square-foot addition and balcony to the back of the home.

Meeting Date: May 23, 2024

RN Residential Neighborhood Zoning



Town of Pittsford GIS

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The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.

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Google Maps 14 Trumbull Ln



Map data @2024 Google 200 ft



Back of have faces the office park

14 Trumbull Ln













phone

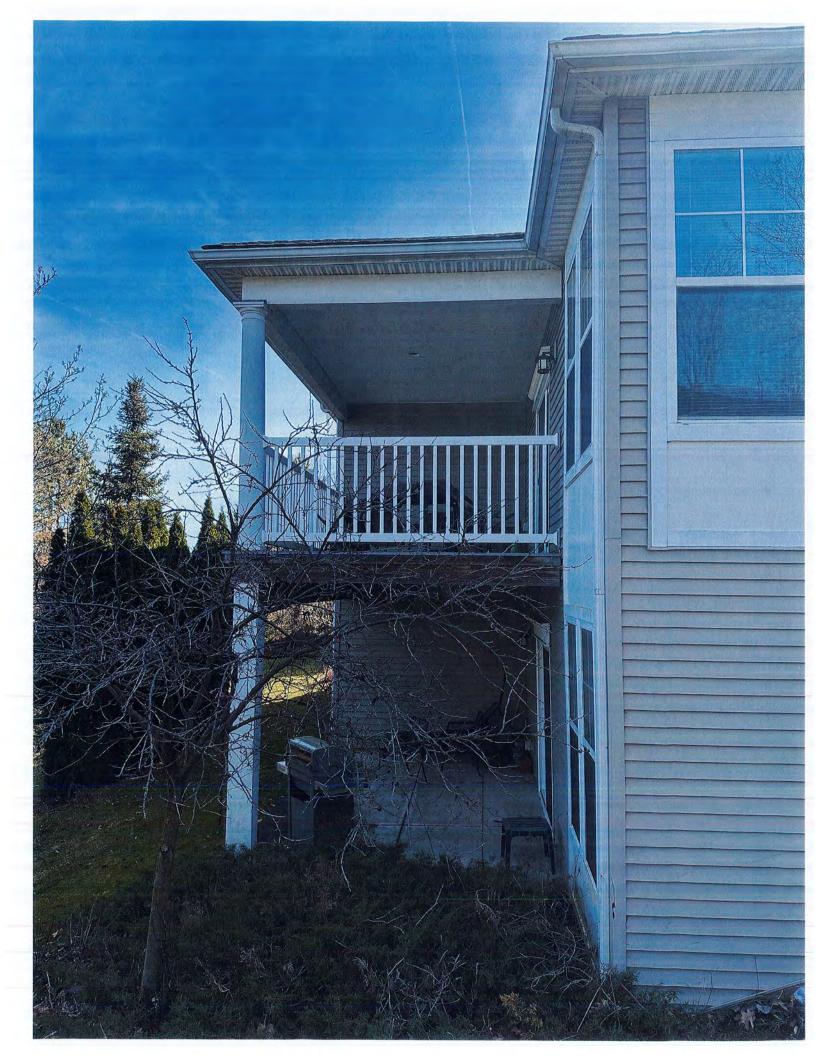
Share



14 Trumbull Ln, Pittsford, NY 14534

Nearby

Photos

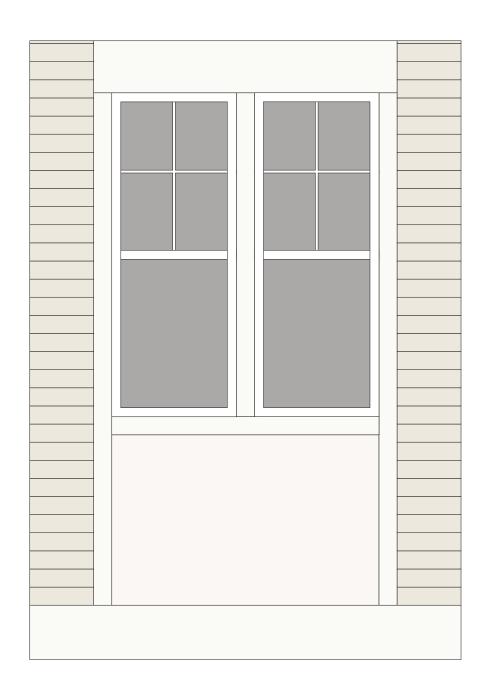






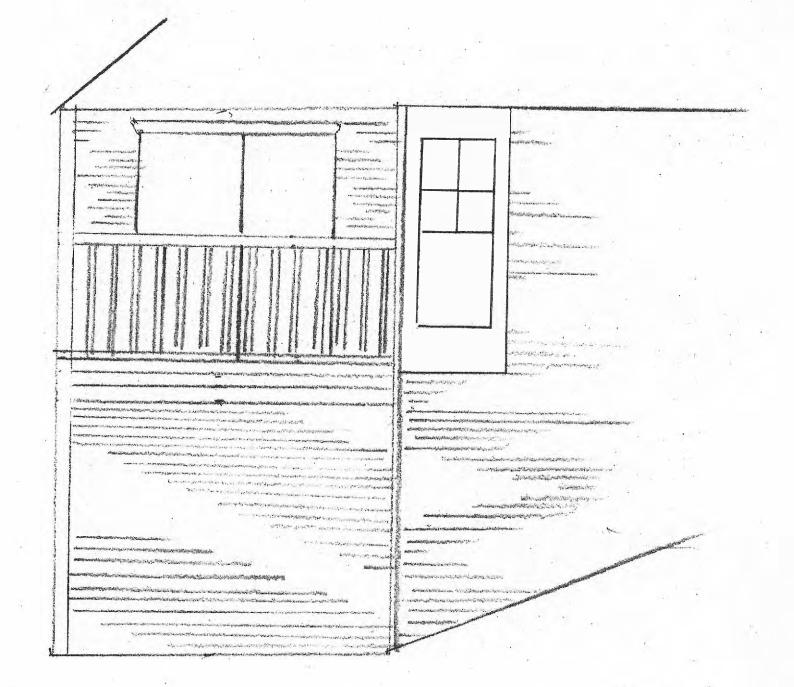






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Scope of Work

Job Summary: 14 Trumbull back of house 4/15/2024

Prepared by: Anthony Tefel

Element of Pride LLC

Turn existing deck into interior den and add on a new deck off of the new space.

Existing area to be converted is approximately 10.5' x 17'

New deck area will be approximately 8'x 10.5'

Exterior framing and enclosure:

Remove deck railing.

Remove sliding glass door for reinstallation for access to the new deck when complete.

Build 2x6 framing with top and sole plate along the (2) outside edges of the deck now exposed to the outside and join them to the existing exterior walls of the house.

Frame in areas for two double windows at the back of the house and the sliding glass door for access to the deck.

Enclose the area with OSB structural sheathing to help support and insulate the walls and allow for installation of vinyl siding.

Install Tyvec to the exterior space for weatherproofing and prep for vinyl siding.

Framing to be inspected by the town when complete.

Insulation:

Remove pvc sheet ceiling from existing deck ceiling.

Install R21 Faced fiberglass insulation between the studs of the walls.

Install R30 Faced fiberglass insulation between the joists of the existing 2x10 floor joists and finish the under side with PVC sheeting.

Install Faced fiberglass insulation between and above the joists of the existing ceiling structure - stacked to reach or exceed a value of R49.

Insulation to be inspected by the town when complete.

FloorPrep:

Ensure a level floor area and install OSB covering the entire interior to prep for final flooring.

Electrical: *To be completed by Paquette Electric & Security System inc.

Install new wiring for outlets around the perimeter of the room. Single gang new work boxes and 12/2 wiring will be installed. Tamper resistant outlets will be installed in this area. Add a single box for data cables for internet.

Electrical to be inspected by the town when complete.

Drywall:

Install drywall to the ceiling and walls of the area to be finished. Tape, mud and sand to a prep for paint finish.

Paint will be completed by a contractor hired by Cloverwood and unaffiliated with Element of Pride LLC

Trim:

Install base trim and door casing to match the existing interior of the house.

Shoe molding to be installed after the flooring is completed.

Prep trim for paint.

Flooring:

Install Coretec flooring into the new den area extended from the existing living area.

Exterior finishing:

Install trim to the door and windows consistent with the existing door and window trim on the house.

Install siding in between the window trim and around the door to the new deck consistent with the existing siding on the house.

New Deck:

The lower patio will be extended by another contractor directly hired by Cloverwood and unaffiliated with Element of Pride LLC. This pour will include (2) footers for structural support for the new deck.

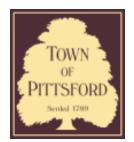
Install structural headers along the (2) open walls consistent with the existing deck structure to be attached to a 2x10 ledger board attached to the structure of the house and (2) pressure treated 6x6 posts mounted with metal mounts to the footers at the (2) outer corners of the new patio area.

Framing of the flooring will consist of 2x10 pressure treated joists mounted to the structural headers and to the stringer with joist hangers.

Install composite decking to the surface of the new joists.

Install deck railing consistent with the existing decks in the development.

Project expected to be completed approximately 3 months after it begins.



Town of Pittsford

Department of Public Works 11 South Main Street Pittsford, New York 14534

Permit # B24-000059

Phone: 585-248-6250 FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 35 Trowbridge Trail PITTSFORD, NY 14534

Tax ID Number: 151.15-3-11

Zoning District: RN Residential Neighborhood

Owner: Lake, Matthew C Applicant: Lake, Matthew C

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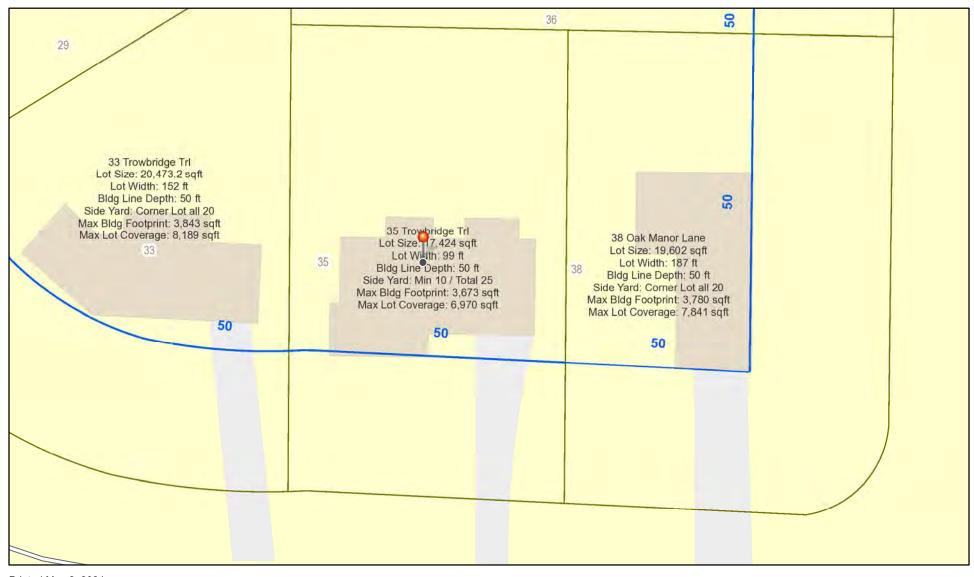
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Residential Design Review §185-205 (B)	Build to Line Adjustment §185-17 (B) (2)
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Landmark Designation §185-195 (2)	Undeveloped Flag Lot Requirements §185-17 (L) (2)
Informal Review	

Project Description: Applicant is requesting design review for 224 square feet of additions to the front and rear of the home.

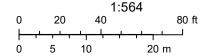
Meeting Date: May 23, 2024



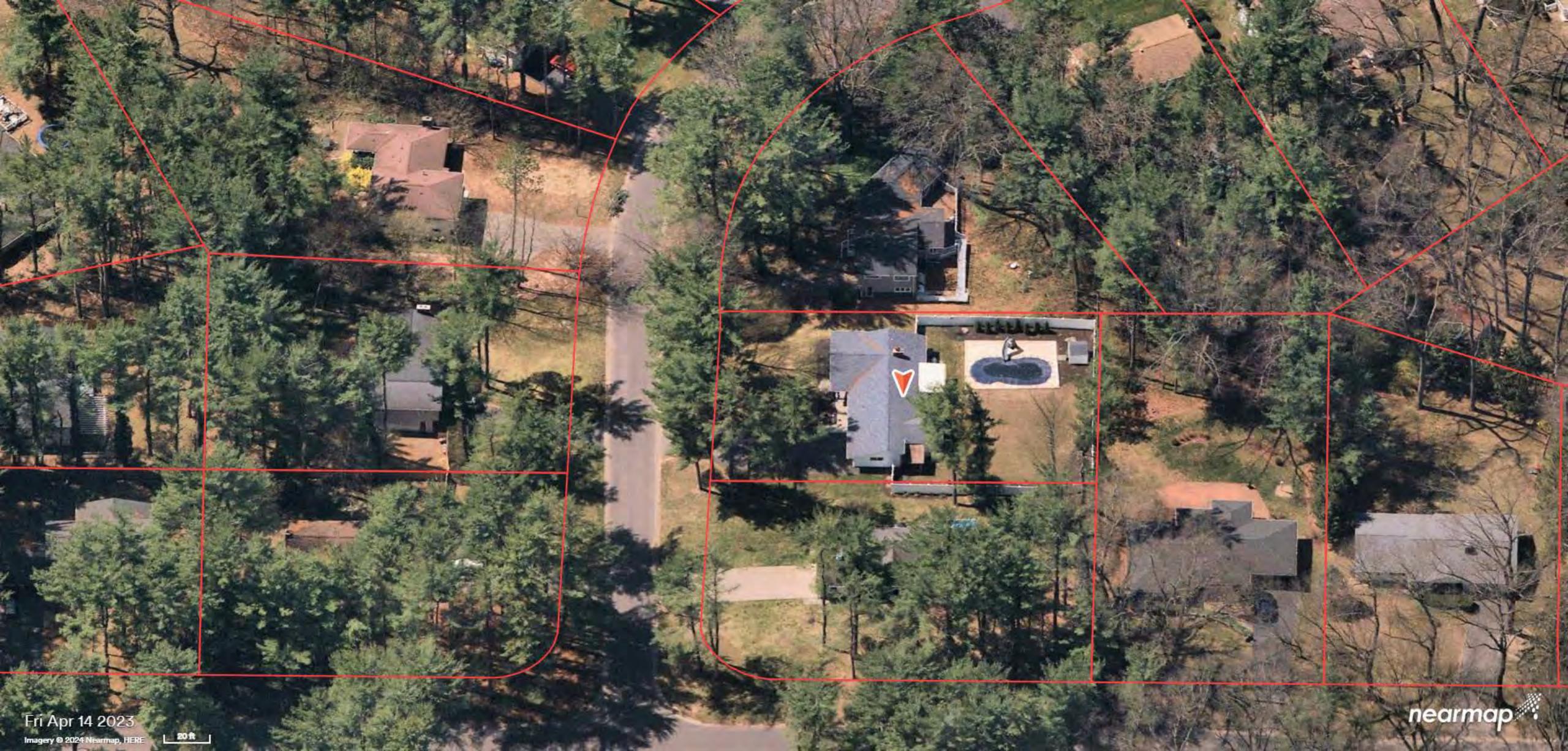
RN Residential Neighborhood Zoning



Printed May 2, 2024



Town of Pittsford GIS



GENERAL NOTES:

- THESE PLANS HAVE BEEN PREPARED TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AND ENERGY CONSERVATION CODE REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADAPTING THESE PLANS, IF REQUIRED, TO SUIT THE NEEDS OF THE BUILDING ON THE SITE. PROVIDED THAT THE ALTERATIONS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ELECTRICAL/MECHANICAL/SANITARY AND ENERGY CODES; STATE OR LOCAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE ENERGY CONSERVATION CODE FOR ALL HVAC EQUIPMENT, HVAC CONTROLS, WATER HEATING EQUIPMENT, PIPE AND DUCT INSULATION, AND FLUORESCENT LAMPS AND BALLASTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE SO THAT BRANDS OF WINDOWS AND DOORS INSTALLED MEET THE NEW YORK STATE ENERGY CONSERVATION CODE REQUIREMENTS. WINDOWS AND / OR DOORS SHOWN ARE INDICATED FOR SIZING ONLY.
- ALL FOOTINGS SHALL REST ON UNDISTURBED VIRGIN SOIL. THE FOOTING/FOUNDATION DESIGN ASSUMES MINIMUM SOIL BEARING PRESSURE TO BE 2000 PSF. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS. IF REQUIRED, THE OWNER AND / OR CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A SOILS ENGINEER TO VERIFY SUBGRADE CONDITIONS AND SUBSTANTIATE ACTUAL BEARING CAPACITY.
- BACKFILL MATERIALS SHALL BE NATIVE SOIL. FOR FILL UNDER THE GARAGE FLOOR OR BASEMENT FLOOR, PROVIDE SAND/ GRAVEL FILL FOR COMPACTION AS NEEDED
- MINIMUM CONCRETE COMPRESSIVE STRENGTH:
- 2500 PSI FOOTINGS 2500 PSI FLOOR SLABS
- 3500 PSI PORCH
- CONCRETE BLOCK SHALL CONFORM TO ASTM C90 N-I, WALL REINFORCING ASTM A82. ALL MORTAR SHALL CONFORM TO ASTM C270, TYPE S - I PART PORTLAND CEMENT, 1/4 PART
- STRUCTURAL STEEL SHALL CONFORM TO ASTM A36. SHOP-PRIME PAINT TT-P-20, TT-P-3IC, TT-P-8G. FABRICATION AND INSTALLATION PER THE LATEST EDITION OF THE AISC
- MINIMUM FIBER STRESS IN BENDING (FB) FOR ALL FRAMING LUMBER TO BE 1150 PSI #2 HEM-FIR OR BETTER. PROVIDE DOUBLE FRAMING MEMBERS UNDER PARTITIONS RUNNING IN
- CONTRACTOR SHALL PAY STRICT ADHERENCE TO MICROLAM MANUFACTURER'S WRITTEN DIRECTIONS FOR CUTTING, DRILLING, NOTCHING, JOINING AND GENERAL INSTALLATION OF
- WOOD TRUSSES SHALL BE DESIGNED BY MANUFACTURER. SUPPLIER SHALL BE RESPONSIBLE FOR INSTALLATION DETAILS
- PLYWOOD SHALL CONFORM TO U.S. PRODUCT STANDARD PS I, THICKNESS AS SHOWN, APA RATED SHEATHING EXP-I. NAILING AND SPACING PER APA RECOMMENDATIONS FOR
- ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE FULLY WOOD PRESERVATIVE-TREATED WITH OSMOSALTS OR WOLMAN SALTS.
- ALL OPENINGS IN THE BUILDING ENVELOPE (DOORS, WINDOWS, UTILITIES) SHALL BE CAULKED, WEATHER-STRIPPED, OR OTHERWISE SEALED. CORROSION RESISTIVE FLASHING SHALL BE PROVIDED AT THE LOCATIONS ON THE EXTERIOR WALL ENVELOPE PER RESIDENTIAL CODE OF NEW YORK (2020)
- CONTRACTOR SHALL VERIFY ALL NOTES AND DIMENSIONS PRIOR TO CONSTRUCTION. THESE DRAWINGS ARE NOT TO BE SCALED - USE DIMENSIONS GIVEN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK
- THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL INTENT ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, AS REQUIRED ARE TO BE DESIGNED BY OTHERS.
- THE FOLLOWING DESIGN LOADS HAVE BEEN USED IN THE STRUCTURES DESIGN IN ACCORDANCE WITH THE PRINTED SPAN TABLES IN THE RESIDENTIAL CODE OF NEW YORK STATE (2020).

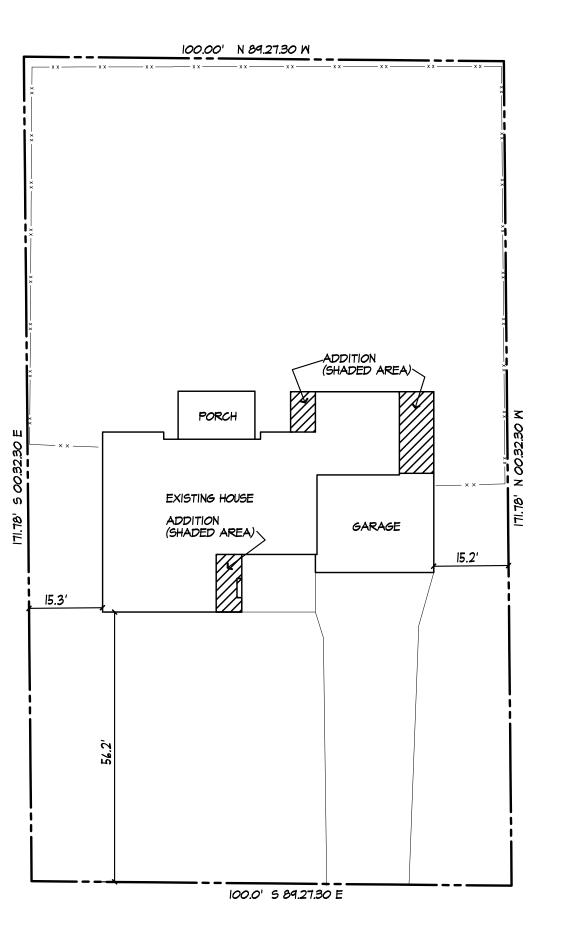
FLOOR LOADS (LIVING AREAS-IST FLOOR) SLEEPING AREAS (2ND FLOOR)

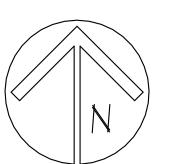
30 PSF

- ALL WORK, MATERIALS, METHODS, EQUIPMENT, ETC. SHALL BE IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL MATERIALS SHALL BE NEW, UNLESS NOTED OTHERWISE.
- WORK SEQUENCE AND SCHEDULE SHALL BE MUTUALLY AGREED UPON BY BOTH THE OWNER AND THE
- IT IS ASSUMED THAT THE SUBSURFACE CONDITIONS WILL BE EARTH OR SOIL. IF BEDROCK IS ENCOUNTERED, REMOVAL WILL BE CONSIDERED AN ADDITION TO CONTRACT.
- ANY DEMOLITION WORK SHALL BE DONE CAREFULLY. ALL DISTURBED SURFACES TO BE REPAIRED APPROPRIATELY. ALL SALVAGEABLE ITEMS SHALL BE TURNED OVER TO THE OWNER.
- EXAMINATION OF THE SITE SHOULD BE MADE BY ALL CONTRACTORS CONCERNED TO FULLY CONSIDER ALL SITE CONDITIONS WHICH MAY HAVE A BEARING ON THE WORK OF THE ENTIRE PROJECT. SUBMISSION OF A BID IS PRESUMPTIVE EVIDENCE THAT THE BIDDER IS CONVERSANT WITH LOCAL JURISDICTIONS AND HAS MADE DUE ALLOWANCES IN HIS BID FOR ALL CONTINGENCIES. THE OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.
- DEVIATIONS FROM THESE DRAWINGS. THE ARCHITECT SHALL BE HELD HARMLESS AS A RESULT OF ANY UNAUTHORIZED CHANGES TO THESE PLANS. ADDITIONAL FEES MAY OCCUR FOR "AS BUILT" DOCUMENTATION DUE TO CIRCUMSTANCES BEYOND THE ARCHITECT'S CONTROL, OR OWNER / CONTRACTOR CHANGES

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT IN CASE OF ANY OR ALL

- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND APPROVALS REQUIRED BY THE LOCAL ZONING AND BUILDING DEPARTMENTS AND ANY OTHER GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THE WORK, ALL APPLICABLE REGULATIONS SHALL BE ADHERED TO AND CARRIED OUT BY ALL INDIVIDUALS
- THE CONTRACTOR SHALL FURNISH A CERTIFICATE OF INSURANCE INDICATING THE TYPE AND AMOUNTS OF COVERAGE AS REQUIRED BY NEW YORK STATE AND THE LOCAL MUNICIPALITY.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND LEAVE THE COMPLETED PROJECT IN A CLEAN STATE, SATISFACTORY TO THE OWNER.
- THE CONTRACTOR SHALL GUARANTEE HIS WORK AND HIS SUBCONTRACTOR'S WORK AGAINST FAULTY MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH NEW YORK STATE GENERAL BUSINESS LAW.
- ONLY COPIES FROM THE ORIGINALS OF THESE DRAWINGS MARKED WITH AN ORIGINAL OF THE ARCHITECT'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
- BUILDING IS CLASSIFIED AS A ONE FAMILY DWELLING
- SMOKE-DETECTING ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R313.1 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2020) CARBON MONOXIDE ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R3I3.4 OF THE BUILDING CODE OF NEW YORK STATE (2020)
- PROVIDE A MIN. 3/4 HR. FIRE SEPARATION PER SECTION R309.2 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2020) ALL WALLS AND FLOORS DEMISING RESIDENCE FROM AN ATTACHED GARAGE
- ALL MATERIALS USED IN THIS PROJECT SHALL BE NON-ASBESTOS AND NON-LEAD CONTAINING.





PLOT PLAN SCALE: 1"=20.0

* NOTE: ALL LAND ENGINEERING TO BE PROVIDED BY OTHERS

M/M LAKE RESIDENCE ADDITION

35 TROWBRIDGE TRAIL

PITTSFORD, NY 14534

DRAWING INDEX

TITLE PAGE

ELEVATIONS- EXISTING & PROPOSED

ELEVATIONS- EXISTING & PROPOSED

BASEMENT / FOUNDATION PLAN - PROPOSED

FLOOR PLAN- EXISTING & PROPOSED

ROOF PLAN- EXISTING & PROPOSED

ENERGY COMPLIANCE DETAILS & PATH

MEETS OR EXCEEDS PRESCRIPTIVE REQUIREMENTS (2020 RESIDENTIAL CODE OF NEW YORK STATE) CLIMATE ZONE - 5

		·	
	COMPONENT	REQUIRED	PROVIDED
1.	FENESTRATION U-FACTOR	.30	.30
	SKYLIGHTS	.55	.55
2.	CEILING R-FACTOR	49	49
3.	WOOD FRAME WALL R-VALUE	20 OR 13+5	R-21 WALLS BAND JOISTS
4.	BASEMENT CONCRETE WALL R-VALUE	15 CONTINUOUS OR 19 CAVITY FULL HEIGHT	N/A
4.	FLOOR R-VAUE	R-30	R-30

2020 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) COMPLIANCE PATH

- I. A MINIMUM OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS PER SECTION 1104.1
- 2. RECESSED LUMINARIES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. PER SECTION 1102.4.5
- 3. CONTRACTOR TO PROVIDE A PROGRAMMABLE THERMOSTAT TO CONTROL THE HVAC SYSTEM PER SECTION 1103 LL
- 4. ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO AT LEAST R-2. CIRCULATION HOT WATER SYSTEMS SHALL INCULDE AN AUTOMATIC OR READILY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE. PER SECTION 1103.3.4
- 5. AIR LEAKAGE TEST TO BE CONDUCTED & PERFORMED BY A THIRD PARTY IN COMPLIANCE WITH 1102.4.1.2. AIR LEAKAGE RATE MAY NOT EXCEED 3 ACH (CLIMATE ZONE 5)
- 6. ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R-VALUE AS THE ATTIC, WEATHER STRIPPED AND LATCHED PER SECTION 1102.2.3
- 7. DUCTWORK ON EXTERIOR WALLS IF REQUIRED SHALL BE INSULATED TO A MINUMUM OF R-6 PER 1103.2.1
- 8. MECHANICAL VENTILATION PER SECTION NIIO3.6 TO BE MET WITH CONTINUOUS USE EXHAUST FANS AND MAKE-UP AIR CONTROLS, PER SECTION MI507.3.3 REQUIREMENT.
- 9. MECHANICAL VENTILATION FAN EFFICACY SHALL MEET MINIMUM REQUIREMENTS PER SECTION NIIO3.6.1.
- IO. HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH SECTION NIIO3.7 REQUIREMENTS.

BASIC DESIGN CRITERIA

- I. GROUND SNOW LOAD 40 PSF R301.2 (5)
- 2. WIND SPEED 115 MPH, EXPOSURE B R301.2.1
- 3. SEISMIC DESIGN CATEGORY A R301.2 (2)
- 4. WEATHERING SEVERE
- 5. FROST LINE DEPTH 48"
- 6. TERMITE DAMAGE NONE TO SLIGHT
- 7. DECAY DAMAGE NONE TO SLIGHT
- 8. WINTER DESIGN TEMPERATURE 1
- 9. ICE SHIELD UNDERLAYMENT REQUIRED YES
- 10. FLOOD HAZARD FIRM 1992
- II. ROOF TIE DOWN REQUIREMENTS R802.II.I



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ROJECT:

LAKE RESIDENCE ADDITION 35 TROWBRIDGE TRAIL PITTSFORD, NY 14534

CLIENT: M/M LAKE

ORAWING:

TITLE PAGE

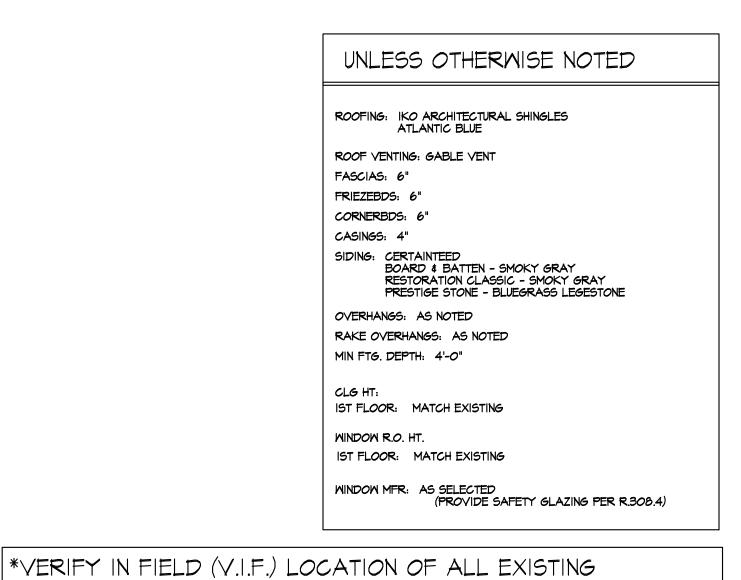
CHECKED: DRAWN: **APRIL 2024**

1/4"=1'-0" JOB NO.: 19M3518

SHEET:

6 SHEETS





REMOVE SIDING
TO SHEATAINING
(INTINE HOUSE)

REMOVE SHATTERS
(

FRONT ELEVATION

EXISTING W/ REMOVALS SHOWN

CULTURED STONE
CAP

CULTURED
STONE VENEER
AS SELECTED

4" THK CONC
PLATFORM

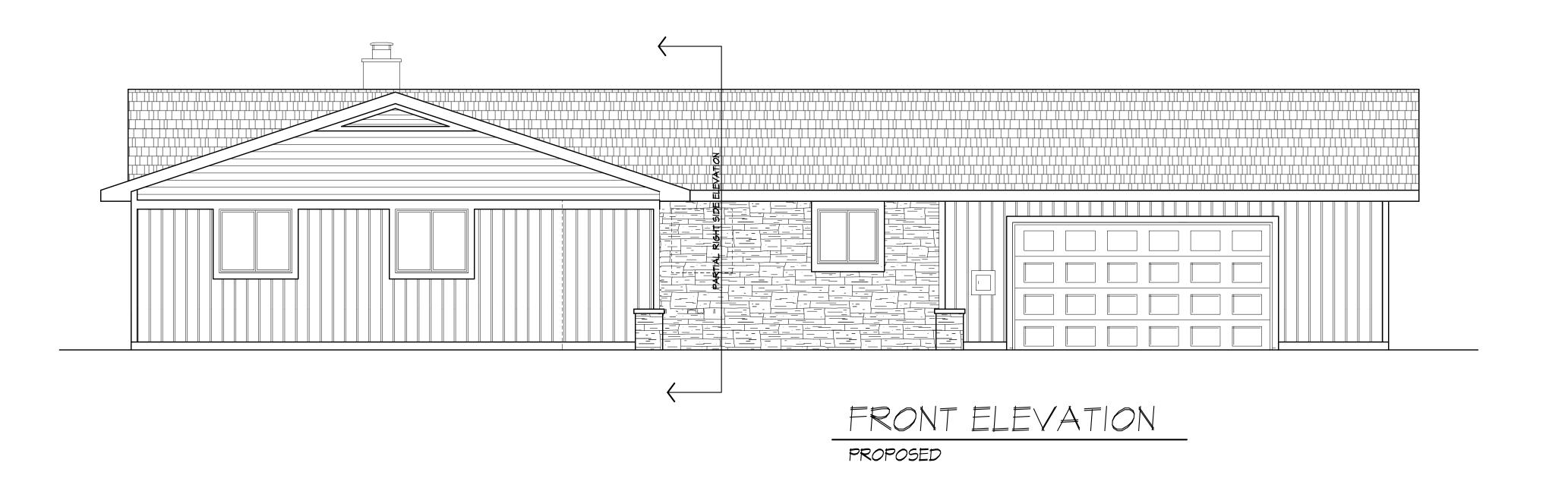
NEW ADDITION

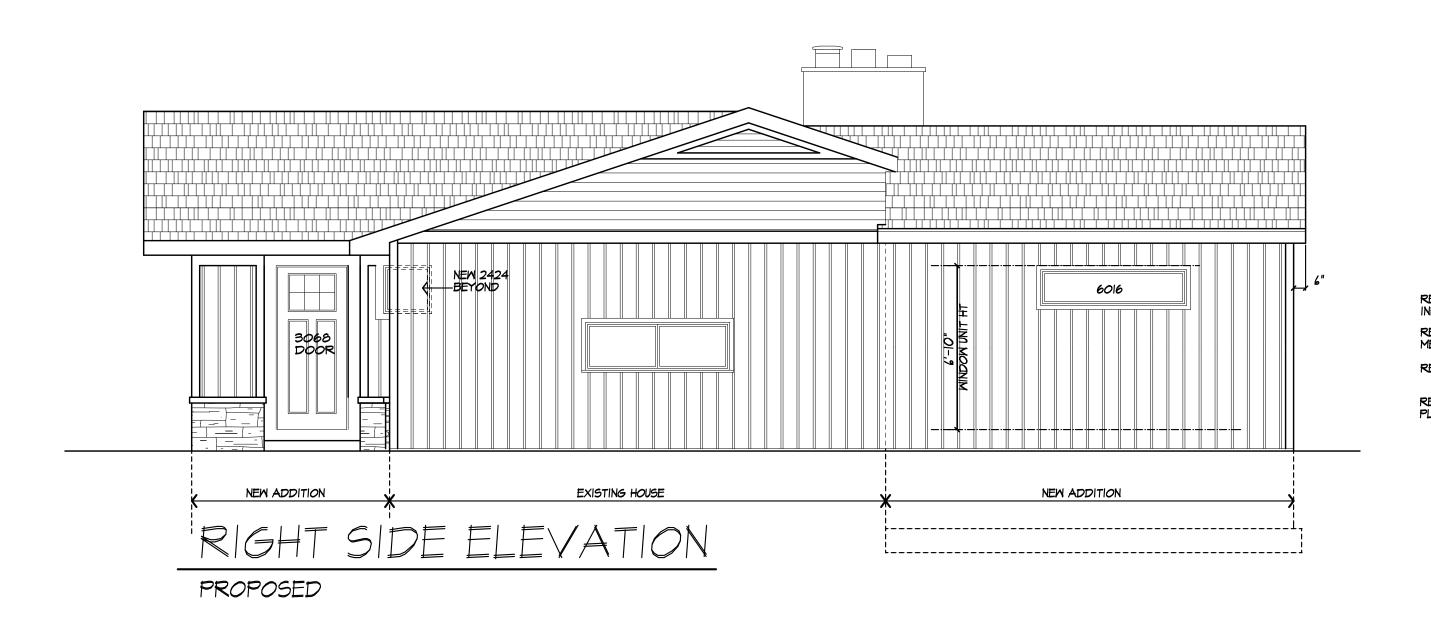
EXISTING HOUSE

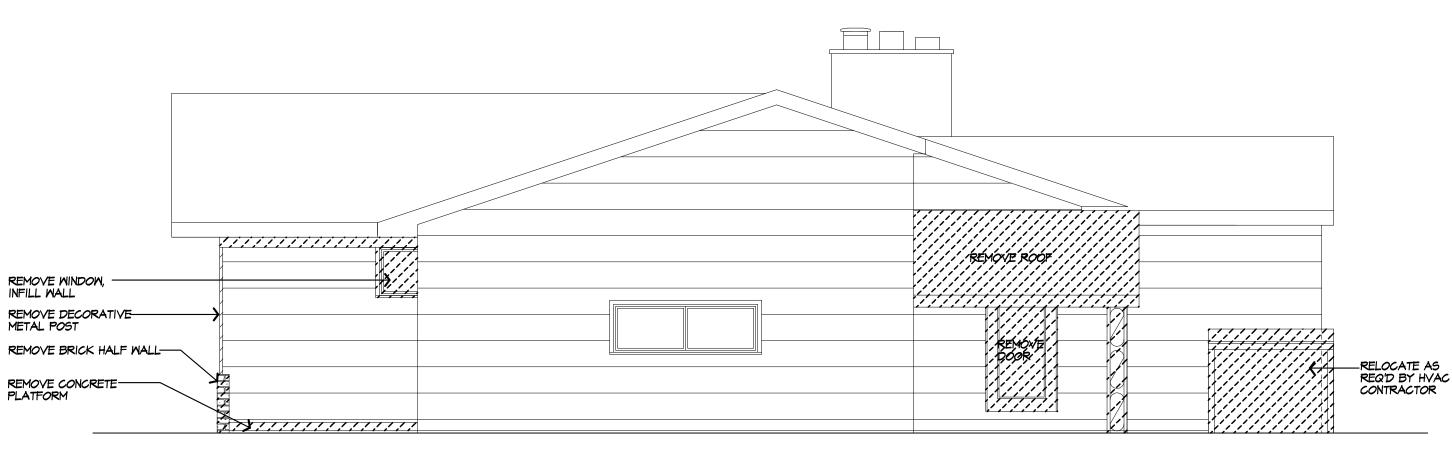
RIGHT SIDE ELEVATION

WALLS, BEAMS, HEADERS, WINDOWS, DOORS, ETC

PARTIAL







RIGHT SIDE ELEVATION
EXISTING

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05/15/2024 DRB

PROJECT: LAKE RESIDENCE ADDITION 35 TROMBRIDGE TRAIL PITTSFORD, NY 14534

CLIENT:

DRAWING:
FRONT / RIGHT SIDE ELEVATIONS
EXISTING & PROPOSED

DRAWN: CHECKED:

MGM / PM

DATE: APRIL 2024

SCALE: I/4"=1'-0"

SCALE: |/4"=1'-0"

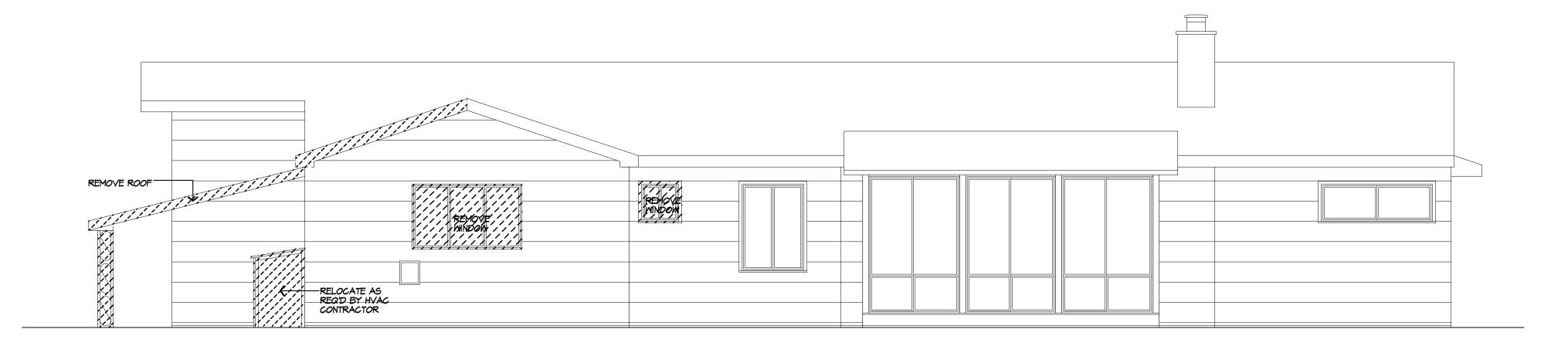
JOB NO.: |9M35|8

SHEET:



UNLESS OTHERWISE NOTED ROOFING: IKO ARCHITECTURAL SHINGLES ATLANTIC BLUE ROOF VENTING: GABLE VENT FASCIAS: 6" FRIEZEBDS: 6" CORNERBDS: 6" CASINGS: 4" SIDING: CERTAINTEED BOARD & BATTEN - SMOKY GRAY RESTORATION CLASSIC - SMOKY GRAY PRESTIGE STONE - BLUEGRASS LEGESTONE OVERHANGS: AS NOTED RAKE OVERHANGS: AS NOTED MIN FTG. DEPTH: 4'-0" IST FLOOR: MATCH EXISTING WINDOW R.O. HT. IST FLOOR: MATCH EXISTING WINDOW MFR: AS SELECTED (PROVIDE SAFETY GLAZING PER R.308.4)

*VERIFY IN FIELD (V.I.F.) LOCATION OF ALL EXISTING WALLS, BEAMS, HEADERS, WINDOWS, DOORS, ETC



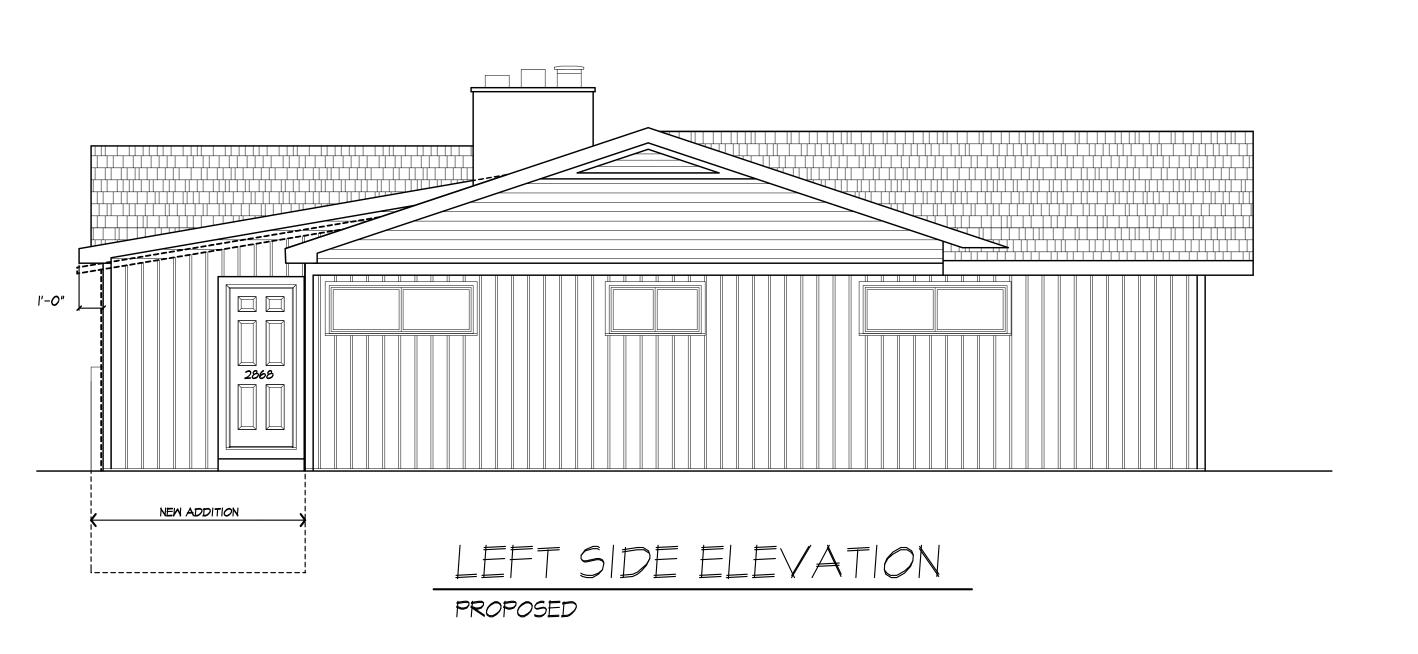
REAR ELEVATION

EXISTING W/ REMOVALS SHOWN





LEFT SIDE ELEVATION EXISTING W/ REMOVALS SHOWN



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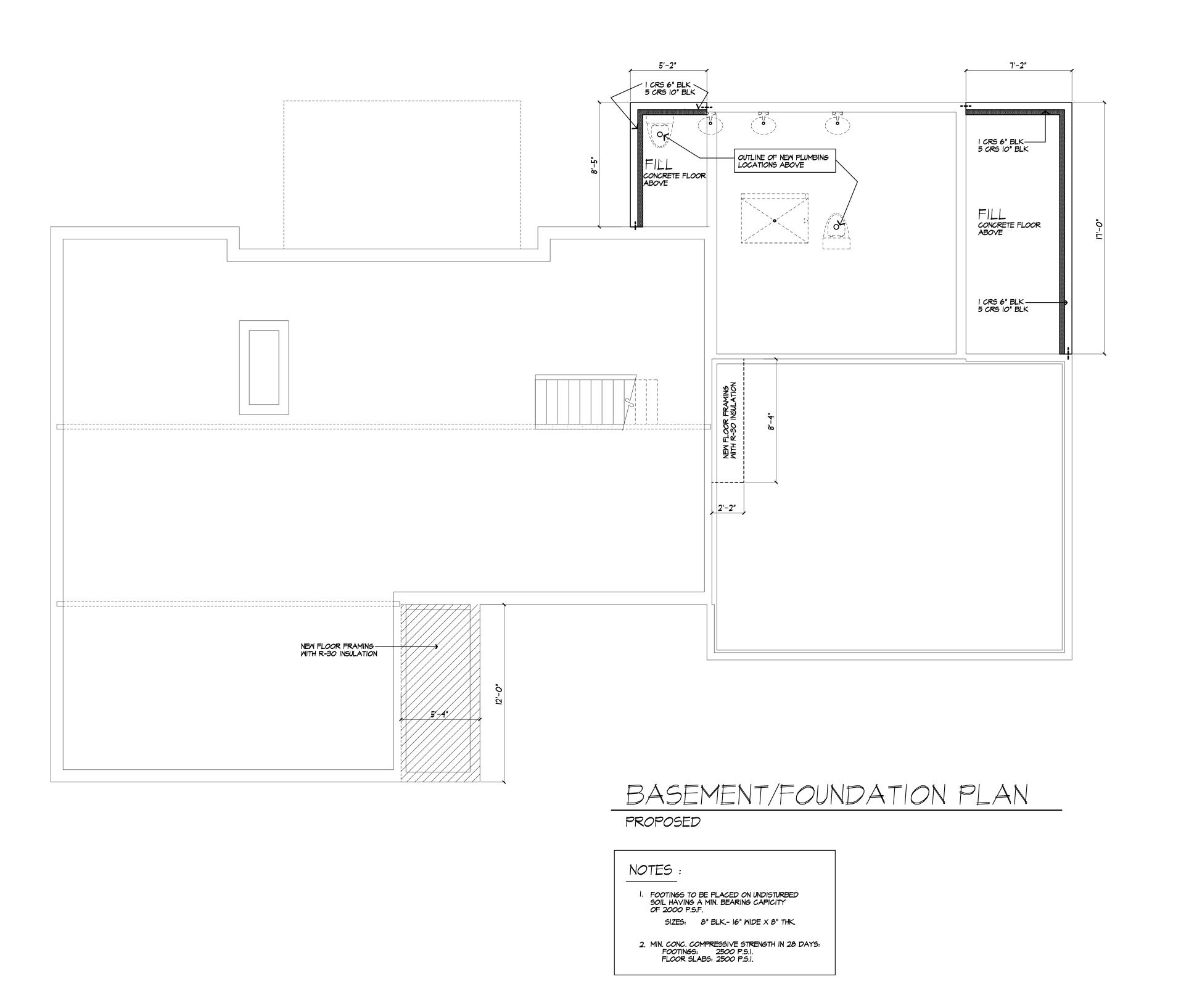
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LAKE RESIDENCE ADDITION 35 TROMBRIDGE TRAIL PITTSFORD, NY 14534

CHECKED: APRIL 2024

SHEET:







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PROJECT: LAKE RESIDENCE ADDITION 35 TROWBRIDGE TRAIL PITTSFORD, NY 14534

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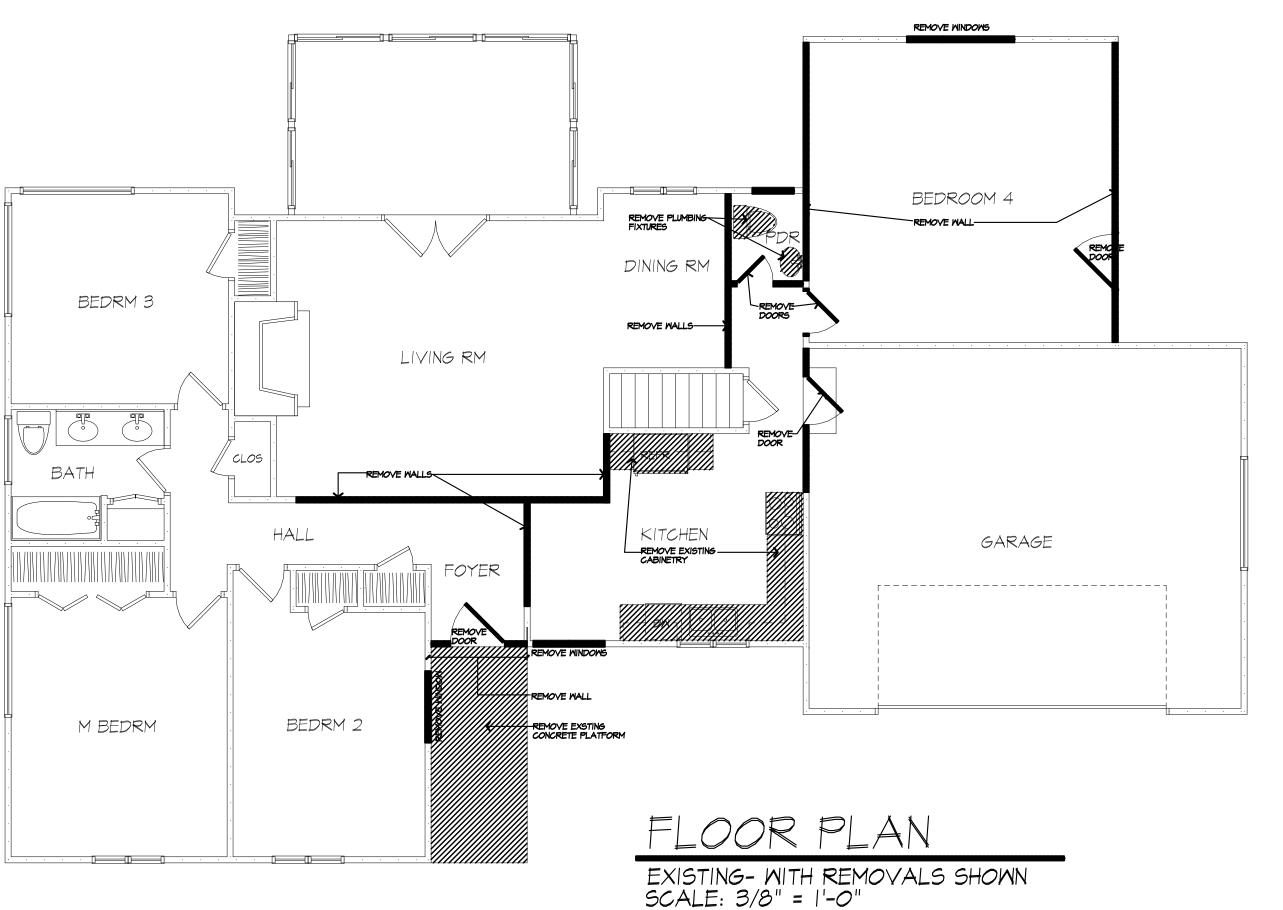
M/M LAKE

DRAWING: BASEMENT / FOUNDATION PLAN PROPOSED

DRAWN:	CHECKED:
MGM / PM	
DATE:	APRIL 2024
SCALE:	/4"= '-O"
JOB NO.:	19M3518









WINDOW FALL PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS R312.2.1 AND R312.2.2

R312.2.1 WINDOW SILLS. IN DWELLING UNITS, WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 24 INCHES ABOVE THE FINISHED FLOOR AND GREATER THAN 72 INCHES ABOVE THE FINISHED FINISHED FLOOR AND GREATER THAN 12 INCHES ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW ON THE EXTERIOR OF THE BUILDING, THE OPERABLE WINDOW SHALL COMPLY WITH ONE OF THE FOLLOWING:

1. OPERABLE WINDOWS WITH OPENINGS THAT WILL NOT ALLOW A 4-INCH-DIAMETER (102 MM) SPHERE TO PASS THROUGH THE OPENING WHERE THE OPENING IS IN ITS LARGEST OPENED POSITION.

2. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2090.

3. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH SECTION R312.2.2.

R312.2.2 WINDOW OPENING CONTROL DEVICES. WINDOW OPENING CONTROL DEVICES SHALL COMPLY WITH ASTM F 2090. THE WINDOW OPENING CONTROL DEVICE, AFTER OPERATION TO RELEASE THE CONTROL DEVICE ALLOWING THE WINDOW TO FULLY OPEN, SHALL NOT REDUCE THE NET CLEAR OPENING AREA OF THE WINDOW UNIT TO LESS THAN THE AREA REQUIRED BY SECTION R310.2.1.

TYPICAL NOTES

JOINTS IN DUCT SYSTEM SEALED WITH MASTIC, TAPE OR GASKETING.

MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105F OR BELOW 55F SHALL BE INSULATED TO A MINIMUM OF R-3.

BUILDING CAVITIES SHALL NOT BE USED FOR SUPPLY DUCTS.

DAMPERS INSTALLED ON ALL OUTDOOR INTAKE AND EXHAUST OPENINGS.

THE AIR HANDLER AND ALL DUCTS SHALL BE LOCATED WITHIN THE CONDITIONED SPACE. IF ANY DUCTWORK IS LOCATED COMPLETELY OUTSIDE OF THE CONDITIONED SPACE THE DUCT TIGHTNESS SHALL BE VERIFIED PER SECTION 403.2.2 OF THE 2018 ENERGY CONSERVATION

ANY SUPPLY DUCTS IN THE ATTICS SHALL BE INSULATED TO A MINIMUM OF R-8. ALL OTHER DUCTS LOCATED COMPLETELY OUTSIDE OF THE BUILDING THERMAL ENVELOPE SHALL BE INSULATED TO A MINIMUM OF R-6. THERE ARE NOT TO BE WATER SUPPLY LINES IN THE EXTERIOR WALLS

WINDOW GLAZING

WINDOW GLAZING SHALL BE PROVIDED IN ALL HAZARDOUS LOCATIONS IN ACCORDANCE WITH SECTION R308

R308.4.1 GLAZING IN DOORS GLAZING IN FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOORS SHALL BE CONSIDERED TO BE A HAZARDOUS

EXCEPTIONS: I. GLAZED OPENINGS OF A SIZE THROUGH WHICH A 3" DIA SPHERE IS UNABLE TO PASS 2. DECORATIVE GLAZING

R308.4.7 GLAZING ADJACENT TO THE BOTTOM STAIR LANDING GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36" ABOVE THE LANDING AND WITHIN A 60" HORIZONTAL ARC LESS THAN 180 DEGREES FROM THE BOTTOM TREAD NOSING SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION.

I. WHERE GLAZING IS ADJACENT TO A WALKING SURFACE AND A HORIZONTAL RAIL IS INSTALLED AT 34" TO 38" ABOVE THE WALKING SURFACE 2. GLAZING 36" OR MORE MEASURED HORIZONTALLY FROM THE

SMOKE & CARBON MONOXIDE ALARM LOCATIONS

R314.3 LOCATION. SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: I. IN EACH SLEEPING ROOM. 2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. 3. ON EACH ADDITIONAL VICINITY OF THE BEDROOMS. S. ON EACH ADDITIONAL
STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT
INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN
DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT
AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS,
A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE
FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL.
WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE
INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM
DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.

R315 REQUIRED LOCATIONS. CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: I. WITHIN EACH DWELLING UNIT ON EACH STORY CONTAINING A SLEEPING AREA, WITHIN 10 FEET OF THE SLEEPING AREA. MORE THAN ONE CARBON MONOXIDE ALARM SHALL BE PROVIDED WHERE NECESSARY TO ASSURE THAT NO SLEEPING AREA ON A STORY IS MORE THAN IO FEET AWAY FROM A CARBON MONOXIDE ALARM. 2. ON ANY STORY OF A DWELLING UNIT THAT CONTAINS A CARBON MONOXIDE SOURCE.

UNLESS OTHERWISE NOTED OPENING 2X6 WALL 2X4 WALL (3) 2X8 5'-0" (3) 2X8 (2) 2X8 (3) 2XIO (2) 2XIO (3) 2XIO (2) 2XI2 7'-0" (3) 2XI2 (2) 2XI2 PROVIDE (2) 1/2" PLY. MD. GUSSETS -2X6 WALL PROVIDE (1) 1/2" PLY. WD. GUSSETS -2X4 WALL GLUE AND NAIL ALL HEADERS

WALL LEGEND N/ INSULATION STUDS AT OPENINGS LARGER THAN 4'0" 2X4 STUDS @ 16"O.C.

BY FIELD MEASURMENTS.

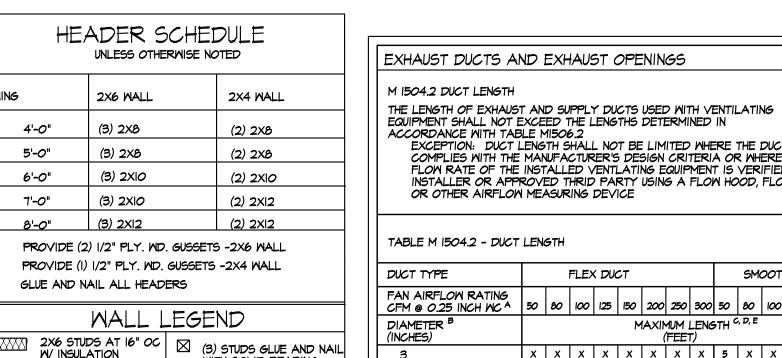
USE SIMPSON OR EQUAL METAL HANGERS AT ALL HDR CONNECTIONS

HEADER SCHEDULE

MITH SOLID BEARING BELOW - OMIT TOP PLTS PROVIDE DOUBLE JACK

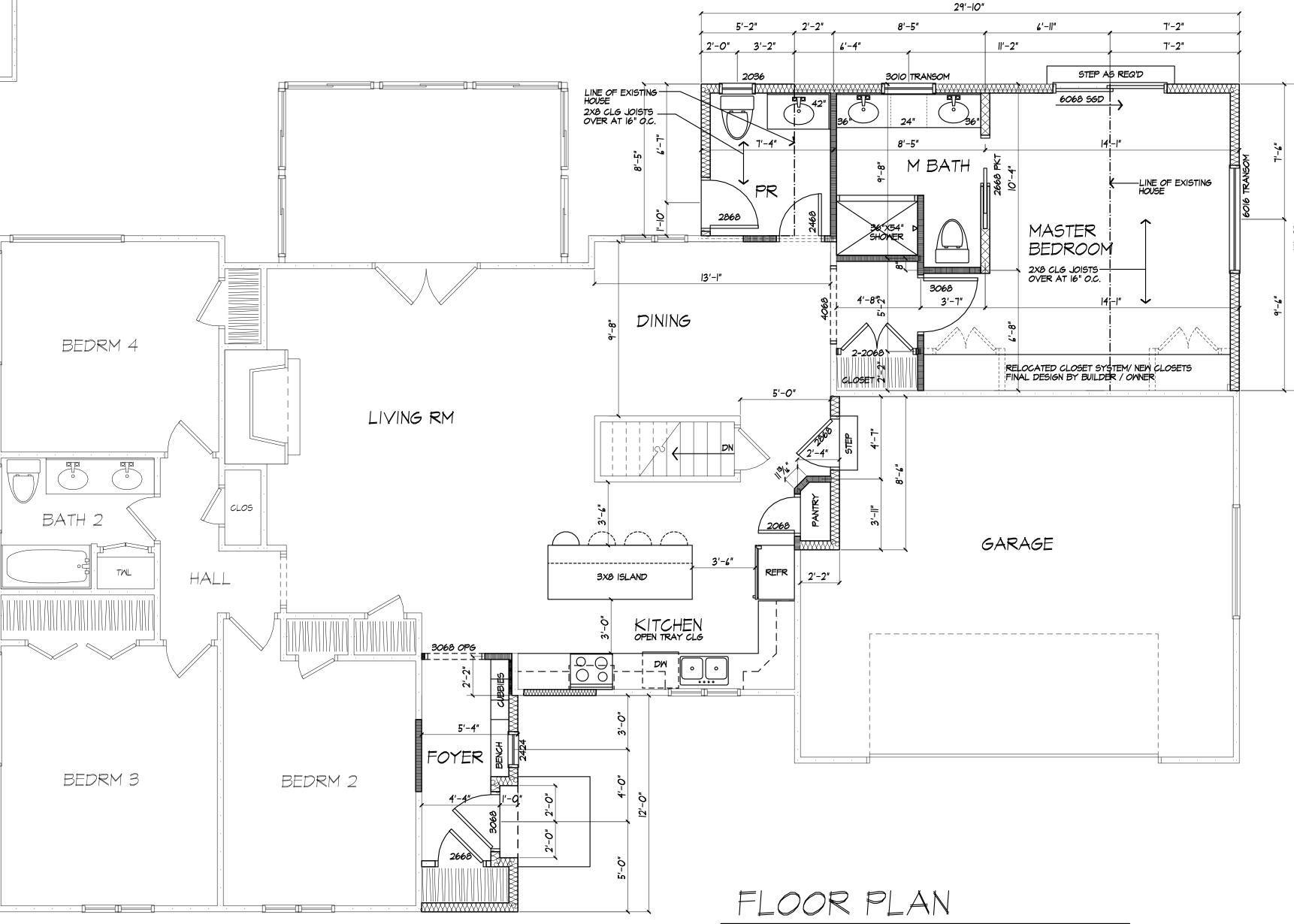
CUSTOM WINDOW SIZES ARE TO BE VERIFIED

2X6 STUDS AT 16" OC | X (3) STUDS GLUE AND NAIL 2X6 STUDS AT 16" OC (INTERIOR WALL)



EXCEPTION: DUCT LENGTH SHALL NOT BE LIMITED WHERE THE DUCT SYSTEM COMPLIES WITH THE MANUFACTURER'S DESIGN CRITERIA OR WHERE THE FLOW RATE OF THE INSTALLED VENTLATING EQUIPMENT IS VERIFIED BY THE INSTALLER OR APPROVED THRID PARTY USING A FLOW HOOD, FLOW GRID OR OTHER AIRFLOW MEASURING DEVICE TABLE M 1504.2 - DUCT LENGTH SMOOTH WALL DUCT FAN AIRFLOW RATING CFM @ 0.25 INCH WC A 50 80 100 125 150 200 250 300 50 80 100 125 150 200 250 30 MAXIMUM LENGTH C, D, E NL NL NL NL NL 189 III 69 NL NL NL NL NL NL 198 II 8 AND ABOVE FOR SI: 1 FOOT = 304,8 MM A. FAN AIRFLOM SHALL BE IN ACCORDANCE WITH ANSI/AMCA 210-ANSI/ASHRAE 51
B. FOR NONCIRCULAR DUCTS, CALCULATE THE DIAMETER AS FOUR TIMES THE CROSS SECTIONAL AREA DIVIDED BY THE PERIMETER
C. THE TABLE ASSUMES THAT ELBONG ARE NOT USED. FIFTEEN FEET OF ALLOWABLE DUCT LENGTH SHALL BE DEDUCTED FOR EACH

ELBOW INSTALLED IN THE DUCT RUN E. X = NO LIMIT ON DUCT LENGTH OF THIS SIZE
E. X = NOT ALLOWED, ANY LENGTH OF DUCT OF THIS SIZE WITH ASSUMED TURNS AND FITTINGS WILL EXCEED THE RATED PRESSURE DROP



*VERIFY IN FIELD (V.I.F.) LOCATION OF ALL EXISTING WALLS, BEAMS, HEADERS, WINDOWS, DOORS, ETC

PROPOSED AREA: 1689 SQ FT EXISTING 60 SQ FT (FOYER) 43 SQ FT (PR) 121 SQ FT (M BATH / CLOSET)

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05/15/2024 DRB

PROJECT: LAKE RESIDENCE ADDITION 35 TROWBRIDGE TRAIL PITTSFORD, NY 14534

CLIENT:

M/M LAKE

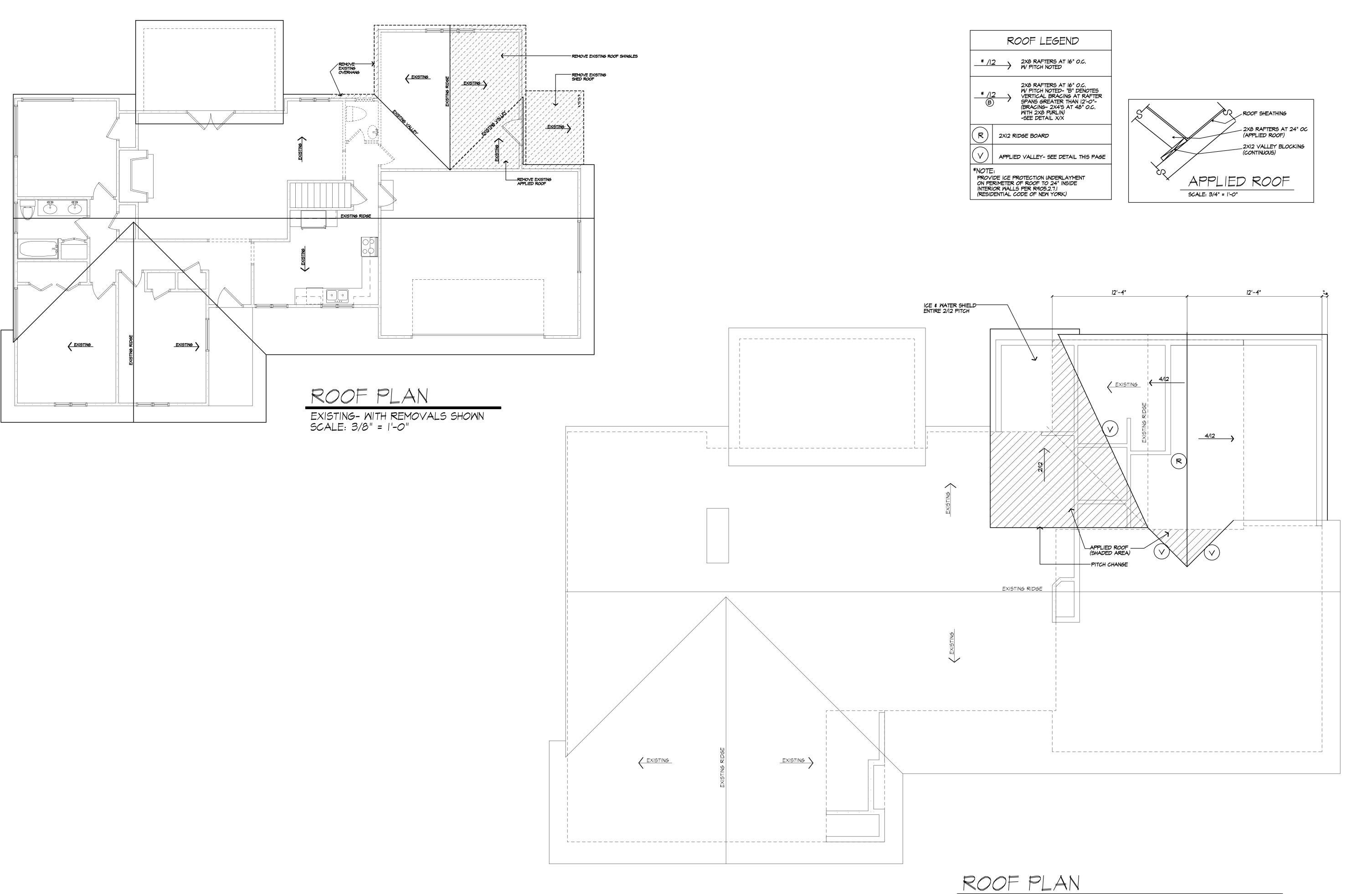
DRAWING: IST FLOOR PLAN PROPOSED

CHECKED: DRAWN: APRIL 2024 1/4"=1'-0" JOB NO.: 19M3518

SHEET:

6 SHEETS





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PROJECT: LAKE RESIDENCE ADDITION 35 TROMBRIDGE TRAIL PITTSFORD, NY 14534

DRAWING:

ROOF PLAN - PROPOSED

CHECKED: APRIL 2024

JOB NO.:

SHEET:

*VERIFY IN FIELD (V.I.F.) LOCATION OF ALL EXISTING WALLS, BEAMS, HEADERS, WINDOWS, DOORS, ETC



Exterior	Location	Brand	Туре	Color	Size
Roofing	B&L Wholesale	IKO	Performance	Atlantic Blue	architectural
Main siding	B&L Wholesale	CertainTeed	Board & Batten	Smoky Gray	vertical
Gable siding	B&L Wholesale	CertainTeed	Restoration Classic	Smoky Gray	"clapboard"
Fascia	B&L Wholesale (?)	TBD by Steve W.	aluminum wrap	white	
Rake	B&L Wholesale (?)	TBD by Steve W.	aluminum wrap	white	
Stone	Weckesser Brick	Prestige Stone	Bluegrass	gray w/10% gold	ledgestone profile
Gutters	Save and reinstall				
Downspouts	Save and reinstall				

















Town of Pittsford

Department of Public Works 11 South Main Street Pittsford, New York 14534

Permit # B24-00064

Phone: 585-248-6250 FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 6 Windscape PITTSFORD, NY 14534

Tax ID Number: 178.12-1-41

Zoning District: RN Residential Neighborhood

Owner: Irwin, William D Applicant: Irwin, William D

An	plic	atio	n T	vne:
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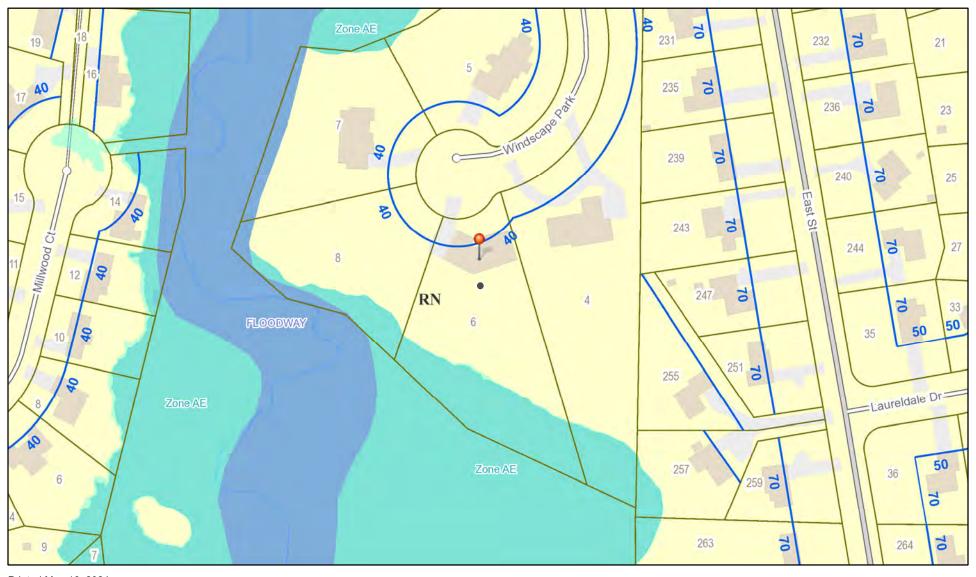
✓	Residential Design Review §185-205 (B)	Build to Line Adjustment §185-17 (B) (2)
	Commercial Design Review §185-205 (B)	Building Height Above 30 Feet §185-17 (M)
	Signage §185-205 (C)	Corner Lot Orientation §185-17 (K) (3)
	Certificate of Appropriateness §185-197	Flag Lot Building Line Location §185-17 (L) (1) (c)
	Landmark Designation §185-195 (2)	Undeveloped Flag Lot Requirements §185-17 (L) (2)
	Informal Review	

Project Description: Applicant is requesting design review for 2,594 square feet of additions to the existing home.

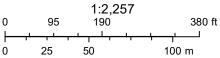
Meeting Date: May 23, 2024



RN Residential Neighborhood Zoning

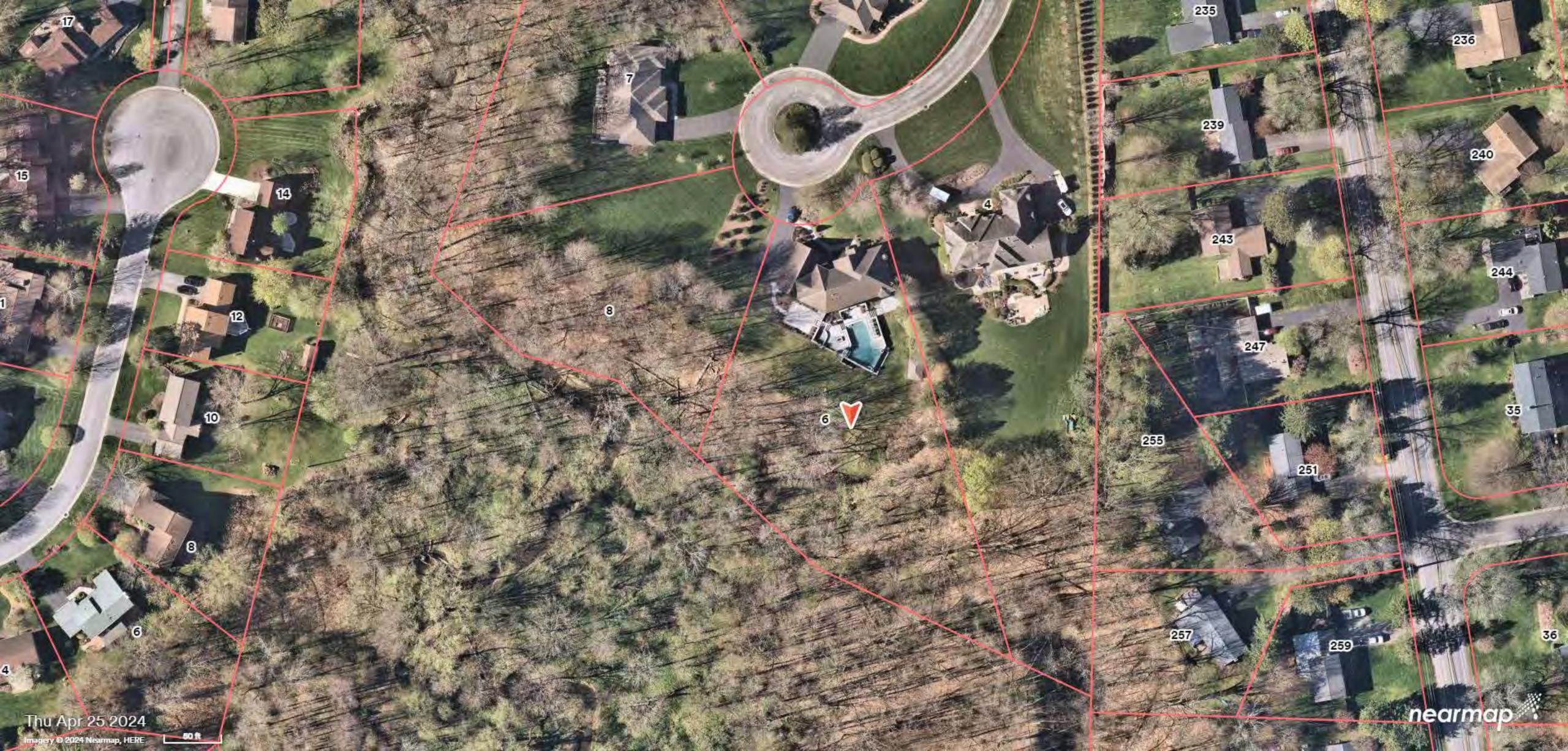


Printed May 16, 2024



Town of Pittsford GIS

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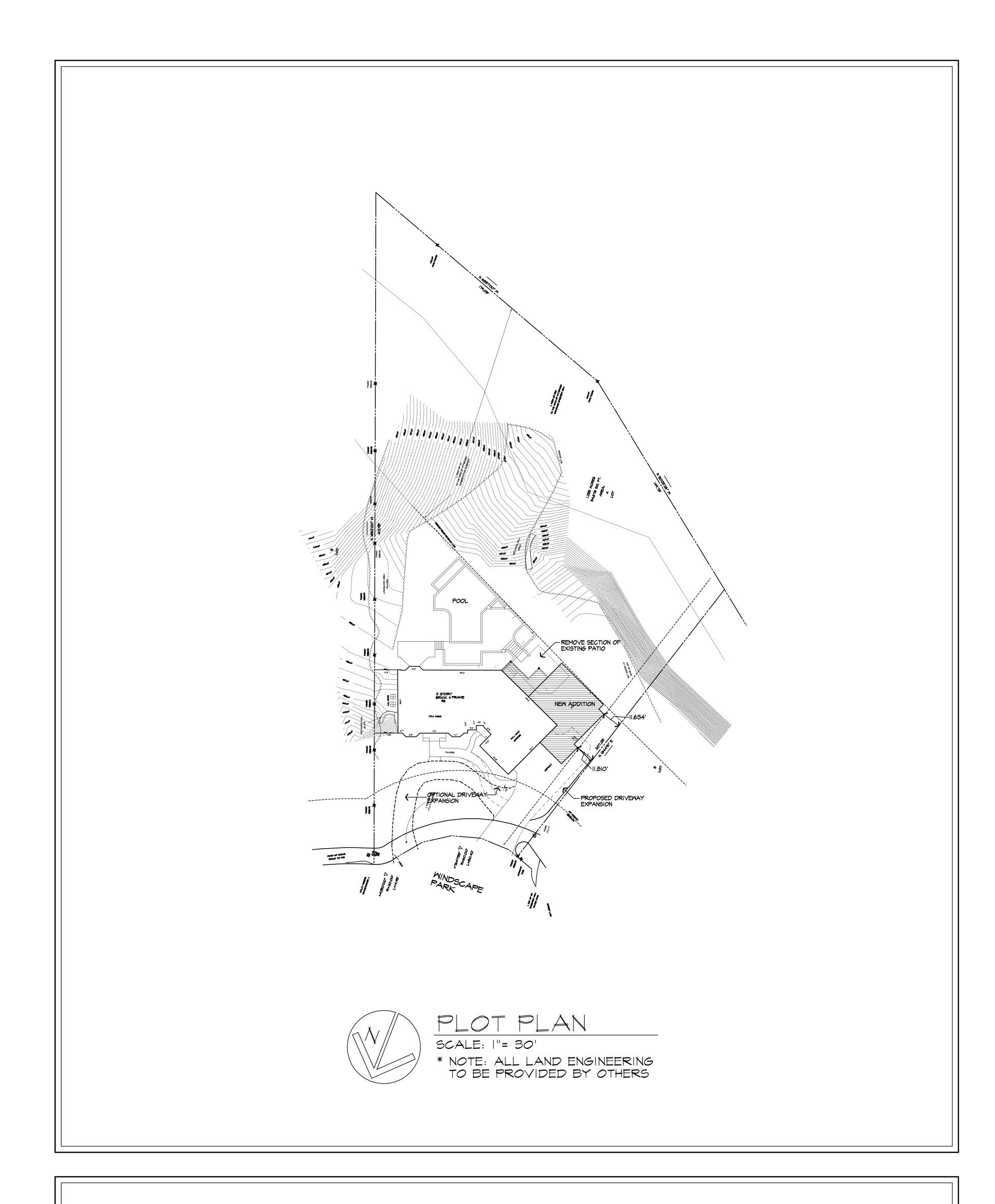


GENERAL NOTES:

- THESE PLANS HAVE BEEN PREPARED TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT IN ACCORDANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AND ENERGY CONSERVATION CODE REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADAPTING THESE PLANS, IF REQUIRED, TO SUIT THE NEEDS OF THE BUILDING ON THE SITE. PROVIDED THAT THE ALTERATIONS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ELECTRICAL/MECHANICAL/SANITARY AND ENERGY CODES; STATE OR LOCAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE ENERGY CONSERVATION CODE FOR ALL HVAC EQUIPMENT, HVAC CONTROLS, WATER HEATING EQUIPMENT, PIPE AND DUCT INSULATION, AND FLUORESCENT LAMPS AND BALLASTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE SO THAT BRANDS OF WINDOWS AND DOORS INSTALLED MEET THE NEW YORK STATE ENERGY CONSERVATION CODE REQUIREMENTS. WINDOWS AND / OR DOORS SHOWN ARE INDICATED FOR SIZING ONLY.
- ALL FOOTINGS SHALL REST ON UNDISTURBED VIRGIN SOIL. THE FOOTING/FOUNDATION DESIGN ASSUMES MINIMUM SOIL BEARING PRESSURE TO BE 2000 PSF. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS. IF REQUIRED, THE OWNER AND / OR CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A SOILS ENGINEER TO VERIFY SUBGRADE CONDITIONS AND SUBSTANTIATE ACTUAL BEARING CAPACITY.
- BACKFILL MATERIALS SHALL BE NATIVE SOIL. FOR FILL UNDER THE GARAGE FLOOR OR BASEMENT FLOOR. PROVIDE SAND/ GRAVEL FILL FOR COMPACTION AS NEEDED
- MINIMUM CONCRETE COMPRESSIVE STRENGTH
- 2500 PSI FOOTINGS 2500 PSI FLOOR SLABS 3500 PSI PORCH 3500 PSI GARAGE
- CONCRETE BLOCK SHALL CONFORM TO ASTM C90 N-I, WALL REINFORCING ASTM A82. ALL MORTAR SHALL CONFORM TO ASTM C270, TYPE S - I PART PORTLAND CEMENT, I/4 PART
- STRUCTURAL STEEL SHALL CONFORM TO ASTM A36. SHOP-PRIME PAINT TT-P-20, TT-P-3IC, TT-P-8G. FABRICATION AND INSTALLATION PER THE LATEST EDITION OF THE AISC
- MINIMUM FIBER STRESS IN BENDING (FB) FOR ALL FRAMING LUMBER TO BE 1150 PSI #2 HEM-FIR OR BETTER. PROVIDE DOUBLE FRAMING MEMBERS UNDER PARTITIONS RUNNING IN
- CONTRACTOR SHALL PAY STRICT ADHERENCE TO MICROLAM MANUFACTURER'S WRITTEN DIRECTIONS FOR CUTTING, DRILLING, NOTCHING, JOINING AND GENERAL INSTALLATION OF
- WOOD TRUSSES SHALL BE DESIGNED BY MANUFACTURER. SUPPLIER SHALL BE RESPONSIBLE FOR INSTALLATION DETAILS
- PLYWOOD SHALL CONFORM TO U.S. PRODUCT STANDARD PS I, THICKNESS AS SHOWN, APA RATED SHEATHING EXP-I. NAILING AND SPACING PER APA RECOMMENDATIONS FOR
- ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE FULLY WOOD PRESERVATIVE-TREATED WITH OSMOSALTS OR WOLMAN SALTS.
- ALL OPENINGS IN THE BUILDING ENVELOPE (DOORS, WINDOWS, UTILITIES) SHALL BE CAULKED, WEATHER-STRIPPED, OR OTHERWISE SEALED. CORROSION RESISTIVE FLASHING SHALL BE PROVIDED AT THE LOCATIONS ON THE EXTERIOR WALL ENVELOPE PER RESIDENTIAL CODE OF NEW YORK (2020)
- CONTRACTOR SHALL VERIFY ALL NOTES AND DIMENSIONS PRIOR TO CONSTRUCTION. THESE DRAWINGS ARE NOT TO BE SCALED - USE DIMENSIONS GIVEN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK
- THESE DRAWINGS HAVE BEEN PREPARED FOR STRUCTURAL INTENT ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING SYSTEMS, AS REQUIRED ARE TO BE DESIGNED BY OTHERS.
- THE FOLLOWING DESIGN LOADS HAVE BEEN USED IN THE STRUCTURES DESIGN IN ACCORDANCE WITH THE PRINTED SPAN TABLES IN THE RESIDENTIAL CODE OF NEW YORK STATE (2020). FLOOR LOADS (LIVING AREAS-IST FLOOR) SLEEPING AREAS (2ND FLOOR)
- ALL WORK, MATERIALS, METHODS, EQUIPMENT, ETC. SHALL BE IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL MATERIALS SHALL BE NEW, UNLESS NOTED OTHERWISE.
- WORK SEQUENCE AND SCHEDULE SHALL BE MUTUALLY AGREED UPON BY BOTH THE OWNER AND THE CONTRACTOR.
- IT IS ASSUMED THAT THE SUBSURFACE CONDITIONS WILL BE EARTH OR SOIL. IF BEDROCK IS ENCOUNTERED, REMOVAL WILL BE CONSIDERED AN ADDITION TO CONTRACT.
- ANY DEMOLITION WORK SHALL BE DONE CAREFULLY. ALL DISTURBED SURFACES TO BE REPAIRED APPROPRIATELY. ALL SALVAGEABLE ITEMS SHALL BE TURNED OVER TO THE OWNER.
- EXAMINATION OF THE SITE SHOULD BE MADE BY ALL CONTRACTORS CONCERNED TO FULLY CONSIDER ALL SITE CONDITIONS WHICH MAY HAVE A BEARING ON THE WORK OF THE ENTIRE PROJECT. SUBMISSION OF A BID IS PRESUMPTIVE EVIDENCE THAT THE BIDDER IS CONVERSANT WITH LOCAL JURISDICTIONS AND HAS MADE DUE ALLOWANCES IN HIS BID FOR ALL CONTINGENCIES. THE OWNER RESERVES THE RIGHT TO
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT IN CASE OF ANY OR ALL DEVIATIONS FROM THESE DRAWINGS. THE ARCHITECT SHALL BE HELD HARMLESS AS A RESULT OF ANY UNAUTHORIZED CHANGES TO THESE PLANS. ADDITIONAL FEES MAY OCCUR FOR "AS BUILT" DOCUMENTATION DUE TO CIRCUMSTANCES BEYOND THE ARCHITECT'S CONTROL, OR OWNER / CONTRACTOR CHANGES
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND APPROVALS REQUIRED BY THE LOCAL ZONING AND BUILDING DEPARTMENTS AND ANY OTHER GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THE WORK, ALL APPLICABLE REGULATIONS SHALL BE ADHERED TO AND CARRIED OUT BY ALL INDIVIDUALS
- THE CONTRACTOR SHALL FURNISH A CERTIFICATE OF INSURANCE INDICATING THE TYPE AND AMOUNTS OF COVERAGE AS REQUIRED BY NEW YORK STATE AND THE LOCAL MUNICIPALITY.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND LEAVE THE COMPLETED PROJECT IN A CLEAN STATE,
- THE CONTRACTOR SHALL GUARANTEE HIS WORK AND HIS SUBCONTRACTOR'S WORK AGAINST FAULTY MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH NEW YORK STATE GENERAL BUSINESS LAW.
- ONLY COPIES FROM THE ORIGINALS OF THESE DRAWINGS MARKED WITH AN ORIGINAL OF THE ARCHITECT'S WET SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.

BUILDING IS CLASSIFIED AS A ONE FAMILY DWELLING

- SMOKE-DETECTING ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R313.1 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2020) CARBON MONOXIDE ALARM DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R3I3.4 OF THE BUILDING CODE OF NEW YORK STATE (2020)
- PROVIDE A MIN. 3/4 HR. FIRE SEPARATION PER SECTION R309.2 OF THE RESIDENTIAL CODE OF NEW YORK STATE (2020) ALL WALLS AND FLOORS DEMISING RESIDENCE FROM AN ATTACHED GARAGE
- ALL MATERIALS USED IN THIS PROJECT SHALL BE NON-ASBESTOS AND NON-LEAD CONTAINING.



RENOVATION TO IRWIN RESIDENCE

6 WINDSCAPE PARK

PITTSFORD, NEW YORK

DRAWING INDEX

1	TITLE PAGE
2	EXISTING ELEVATIONS
3	EXISTING ELEVATIONS
4	EXISTING FOUNDATION PLAN
5	EXISTING 1ST FLOOR PLAN
6	EXISTING 2ND FLOOR PLAN
7	EXISTING ROOF PLAN
8	PROPOSED ELEVATIONS
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12	PROPOSED 1ST FLOOR PLAN
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14	PROPOSED ROOF PLAN
14A	PROPOSED ATTIC PLAN
15	PROPOSED BUILDING SECTIONS
16	PROPOSED BUILDING SECTIONS
17	WALL SECTIONS

ENERGY COMPLIANCE DETAILS & PATH MEETS OR EXCEEDS PRESCRIPTIVE REQUIREMENTS PER INTERNATIONAL RESIDENTIAL CODE (2020 IRC) CLIMATE ZONE - 5				
COMPONENT	REQUIRED	PROVIDED		
I. FENESTRATION U-FACTOR	.32	.30		
2. CEILING R-FACTOR	49	49		
3. IST \$ 2ND FLOOR WOOD FRAMED WALL R-VALUE	20 OR 13+5	HIGH DENSITY 21 21/BAND JSTS		
4. BASEMENT CONCRETE WALL R-VALUE	IS CONTINUOUS OR IS CAVITY FULL HEIGHT	R-15 CONTINUOUS FULL HEIGHT		
5. FLOOR R-VALUE	30	30		

2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) COMPLIANCE PATH

- I. A MINIMUM OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS PER SECTION IIO4.I
- 2. RECESSED LUMINARIES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. PER SECTION 1102.4.5
- 3. CONTRACTOR TO PROVIDE A PROGRAMMABLE THERMOSTAT TO CONTROL THE HVAC SYSTEM PER SECTION IIO3.I.I
- 4. ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO AT LEAST R-2. CIRCULATION HOT WATER SYSTEMS SHALL INCULDE AN AUTOMATIC OR READILY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF THE HOT WATER CIRCULATING
- PUMP WHEN THE SYSTEM IS NOT IN USE. PER SECTION 1103.3.4 5. AIR LEAKAGE TEST TO BE CONDUCTED & PERFORMED BY A THIRD PARTY IN COMPLIANCE WITH 1102.4.1.2. AIR LEAKAGE RATE MAY NOT EXCEED 3 ACH (CLIMATE ZONE 5)
- 6. ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R-VALUE AS THE ATTIC, WEATHER STRIPPED AND LATCHED PER SECTION 1102.2.3
- 7. DUCTWORK ON EXTERIOR WALLS IF REQUIRED SHALL BE INSULATED TO A MINUMUM
- 6. MECHANICAL VENTILATION PER SECTION NIIO3.6 TO BE MET WITH CONTINUOUS USE EXHAUST FANS AND MAKE-UP AIR CONTROLS, PER
- 9. MECHANICAL VENTILATION FAN EFFICACY SHALL MEET MINIMUM REQUIREMENTS PER SECTION NIIO3.6.1.
- IO. HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH SECTION NIIO3.7 REQUIREMENTS.

BASIC DESIGN CRITERIA

- I. GROUND SNOW LOAD 40 PSF R301.2 (5)
- 2. WIND SPEED 90 MPH, EXPOSURE B R301.2 (4)
- 3. SEISMIC DESIGN CATEGORY A R301.2 (2)
- 4. WEATHERING SEVERE



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RENOVATION

WILL AND KRISTIN IRWIN

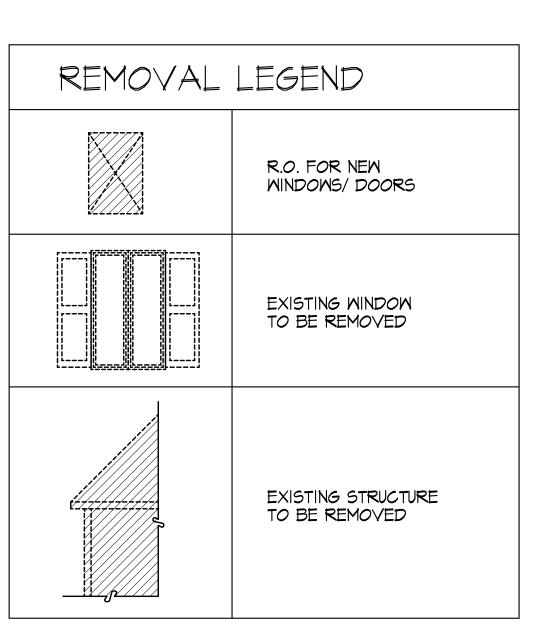
6 WINDSCAPE PARK PITTSFORD, NY

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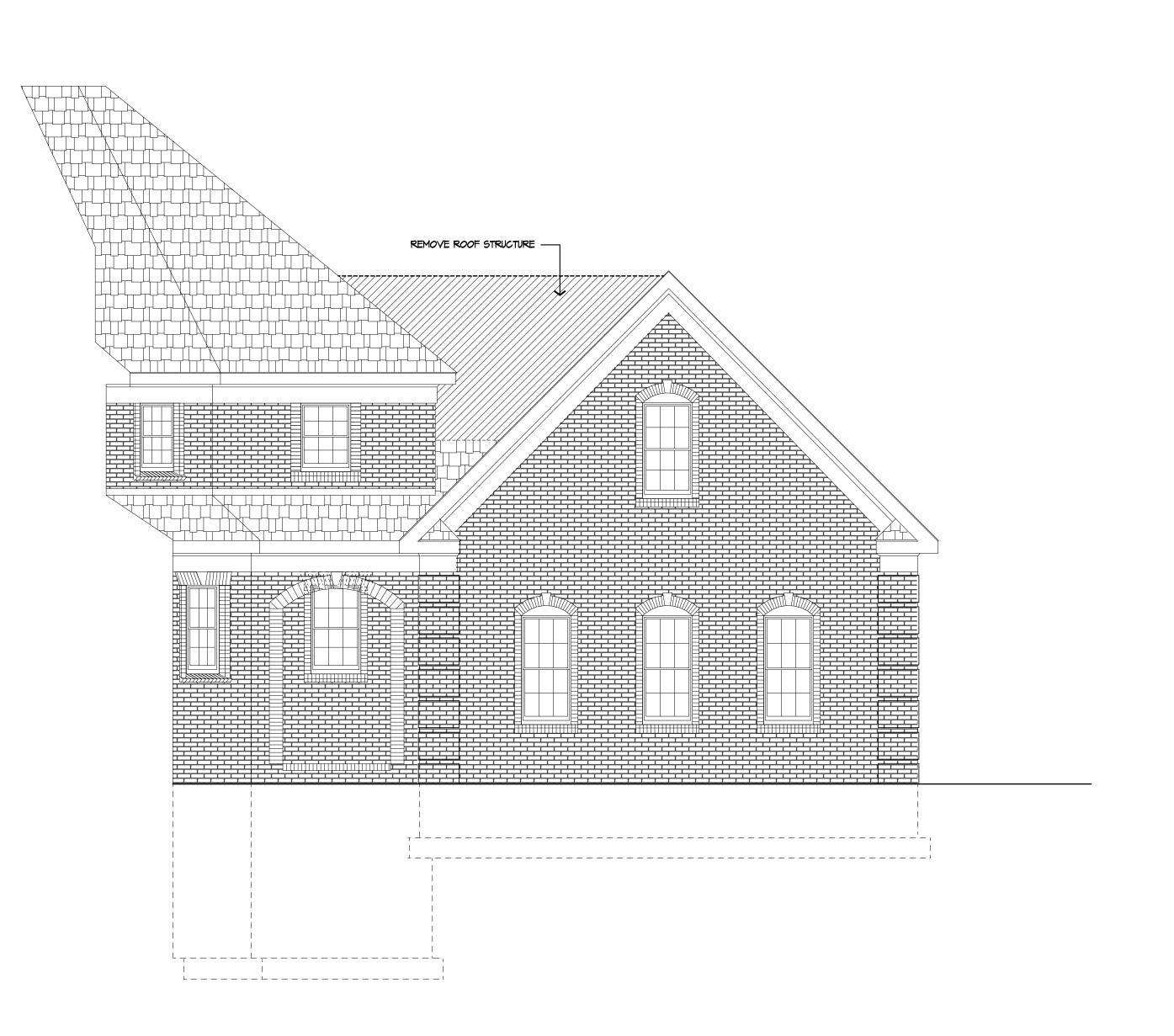






FRONT ELEVATION/ EXISTING

WITH REMOVALS SHOWN



GARAGE ELEVATION/ EXISTING



LEFT SIDE ELEVATION/ EXISTING

NO CHANGES TO THIS ELEVATION WITH REMOVALS SHOWN

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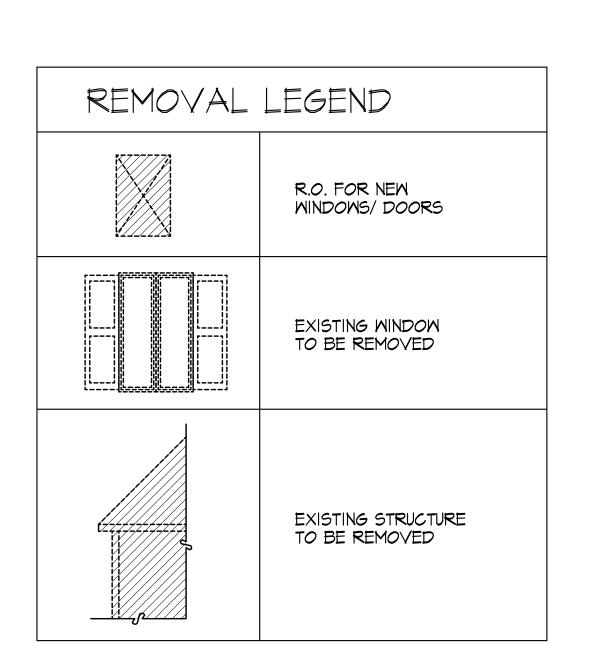
RENOVATION 6 WINDSCAPE PARK PITTSFORD, NY

WILL AND KRISTIN IRWIN

ELEVATIONS - EXISTING WITH REMOVALS SHOWN

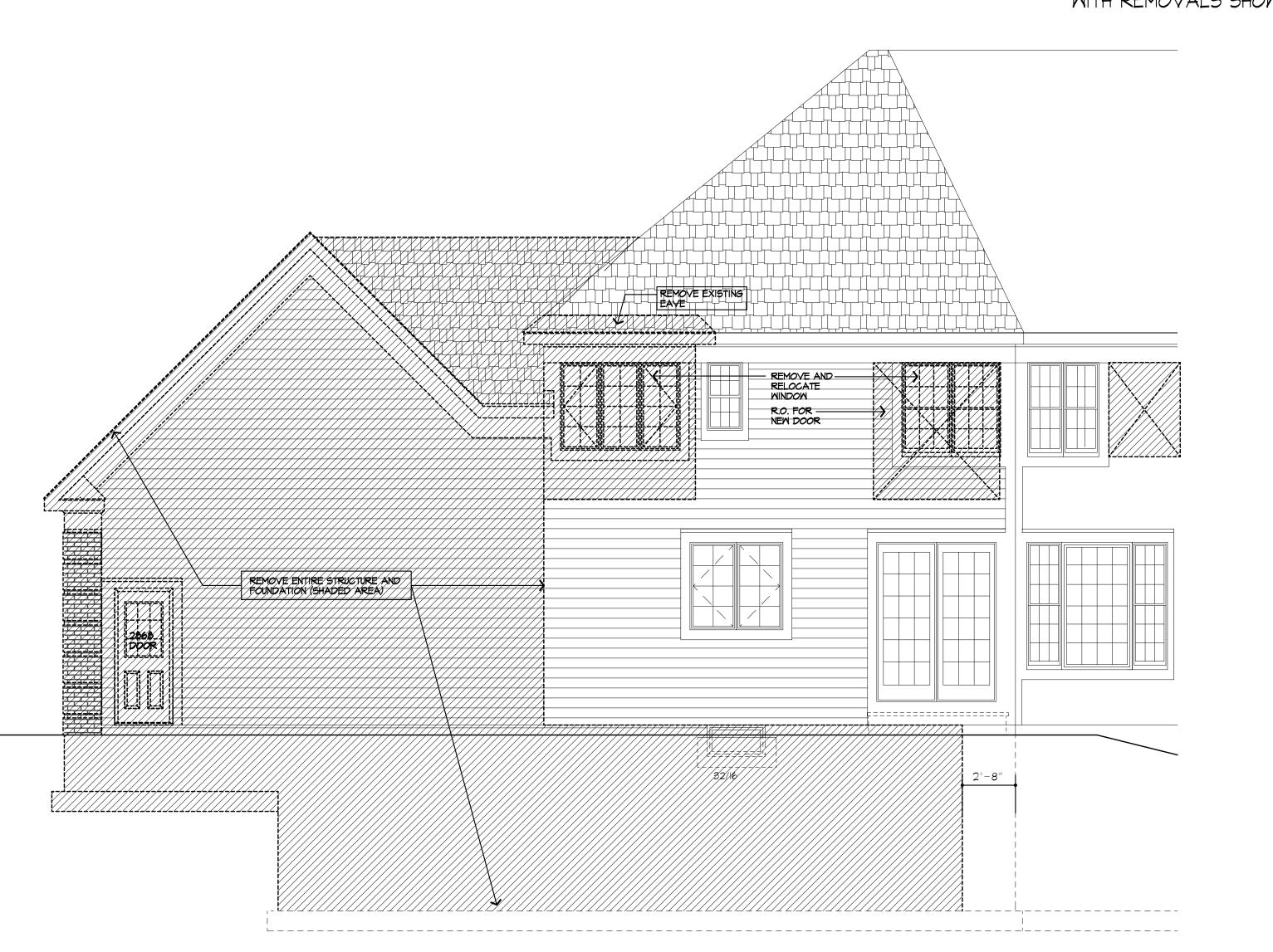
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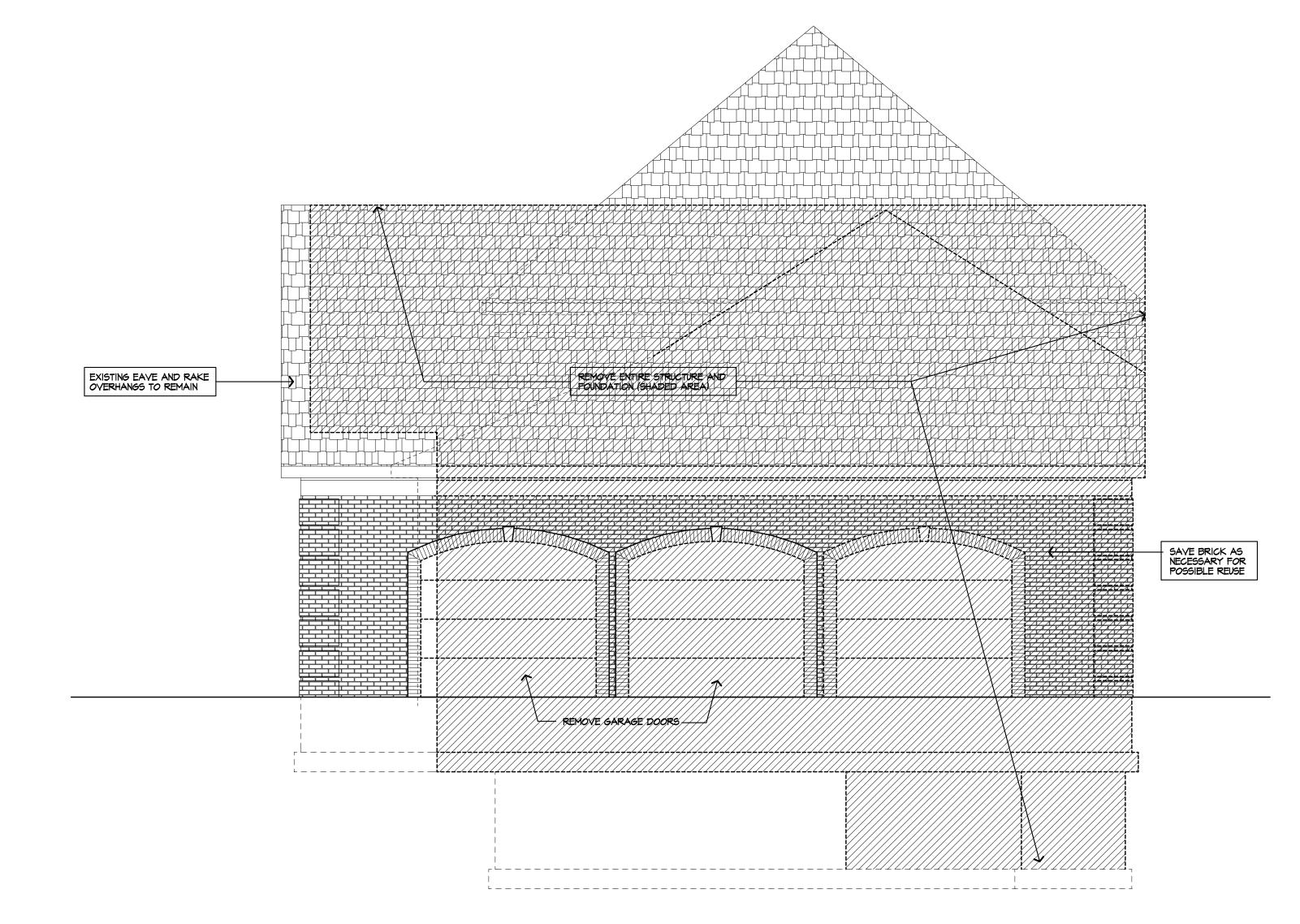




REAR ELEVATION/ EXISTING WITH REMOVALS SHOWN



PARTIAL REAR ELEVATION/ EXISTING
WITH REMOVALS SHOWN



RIGHT SIDE ELEVATION/ EXISTING WITH REMOVALS SHOWN

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PROJECT:

RENOVATION
6 WINDSCAPE PARK
PITTSFORD, NY

CLIENT:
MILL AND KRISTIN IRMIN

DRAWING: ELEVATIONS- EXISTING WITH REMOVALS SHOWN

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DATE: 12/2018

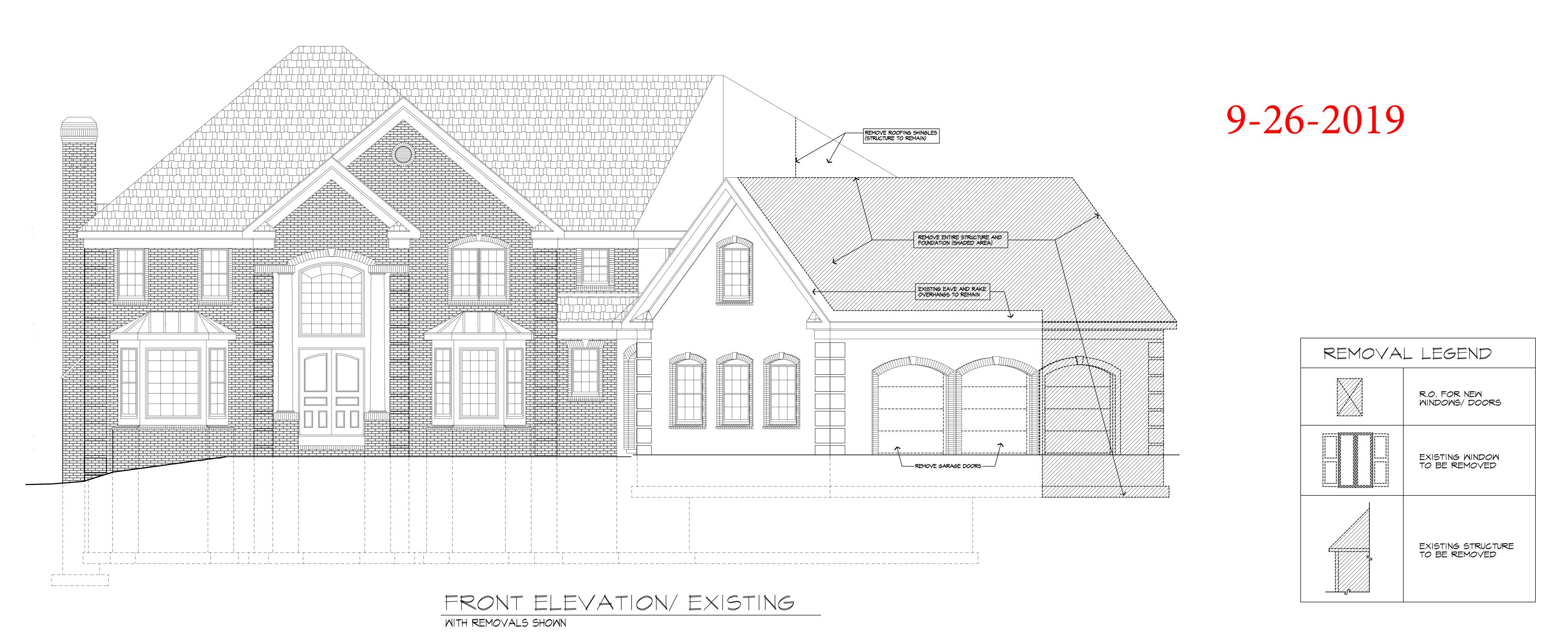
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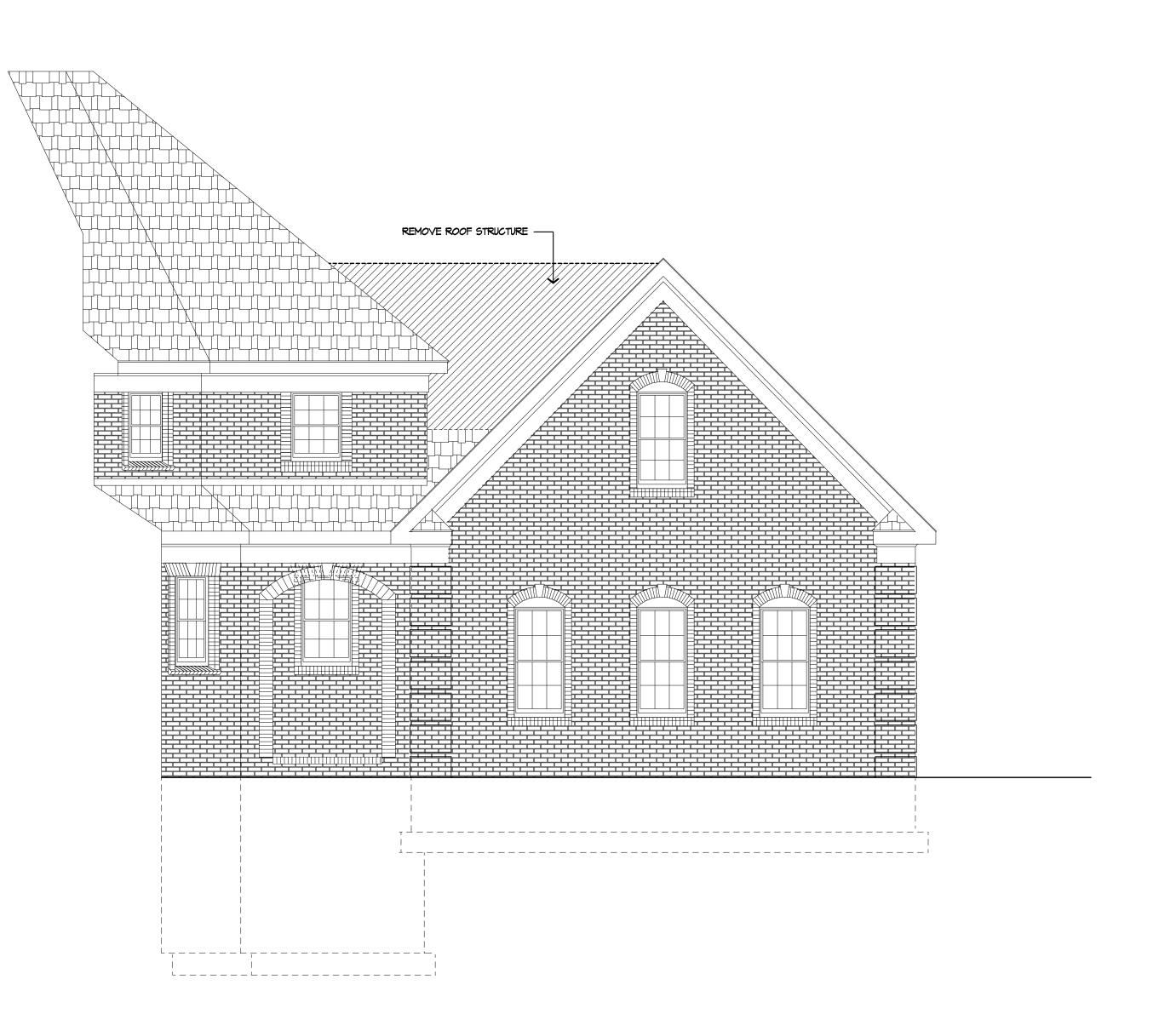
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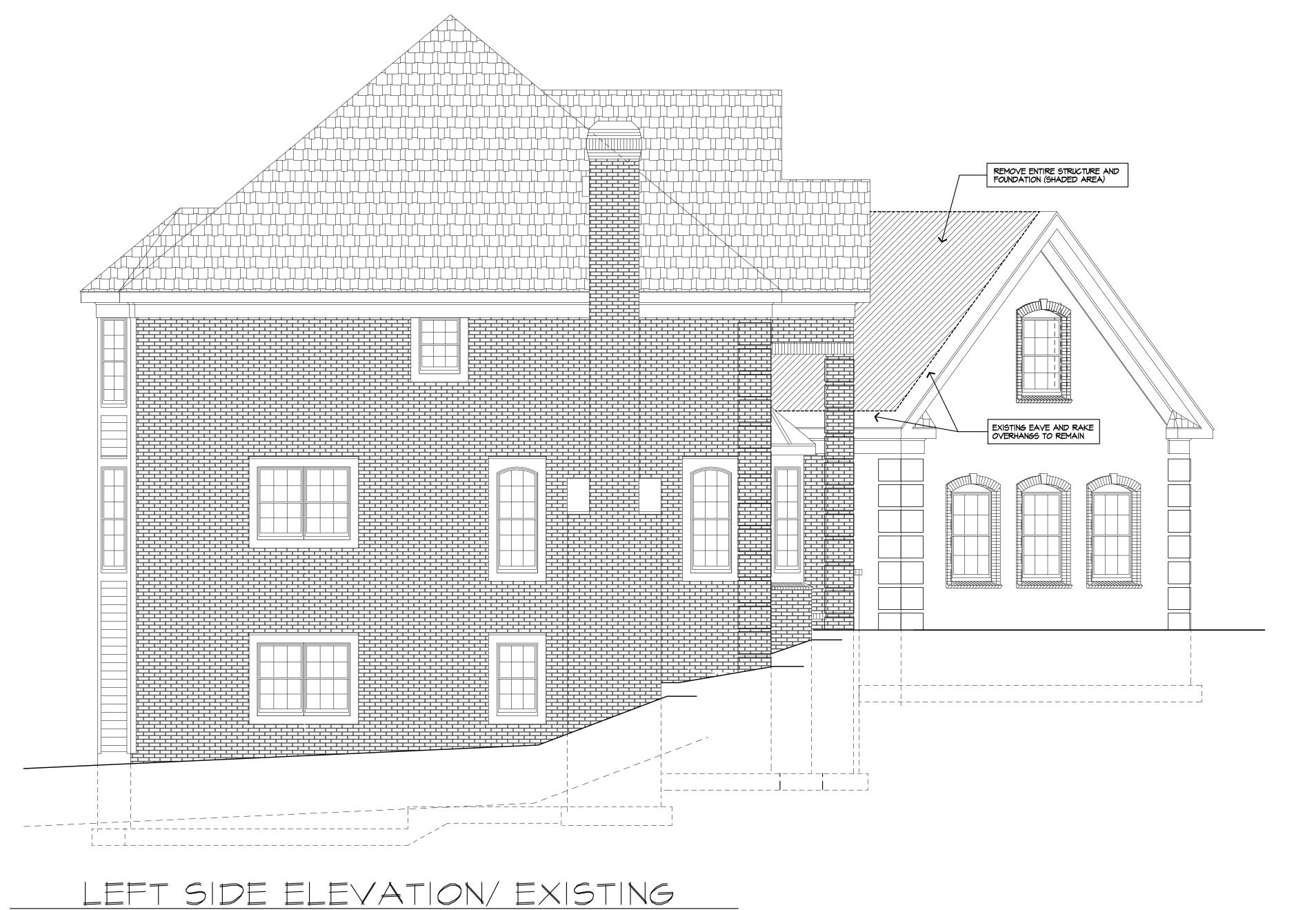


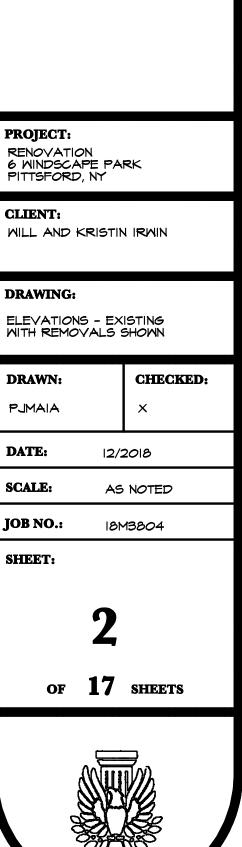
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GARAGE ELEVATION/ EXISTING

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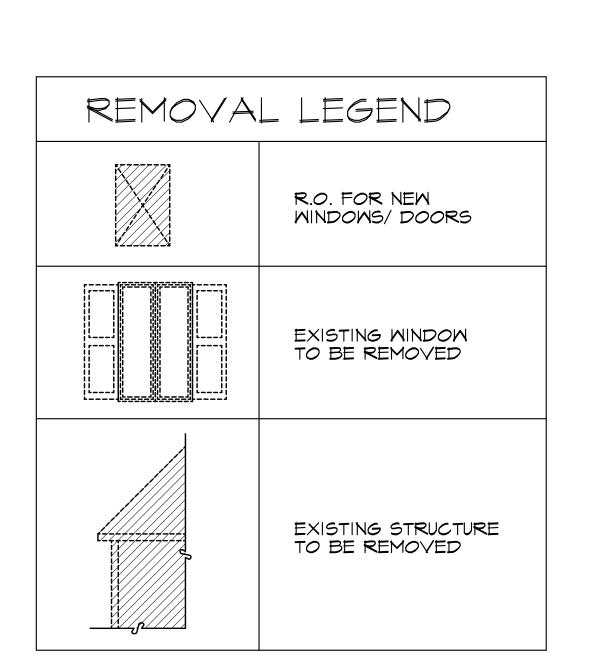
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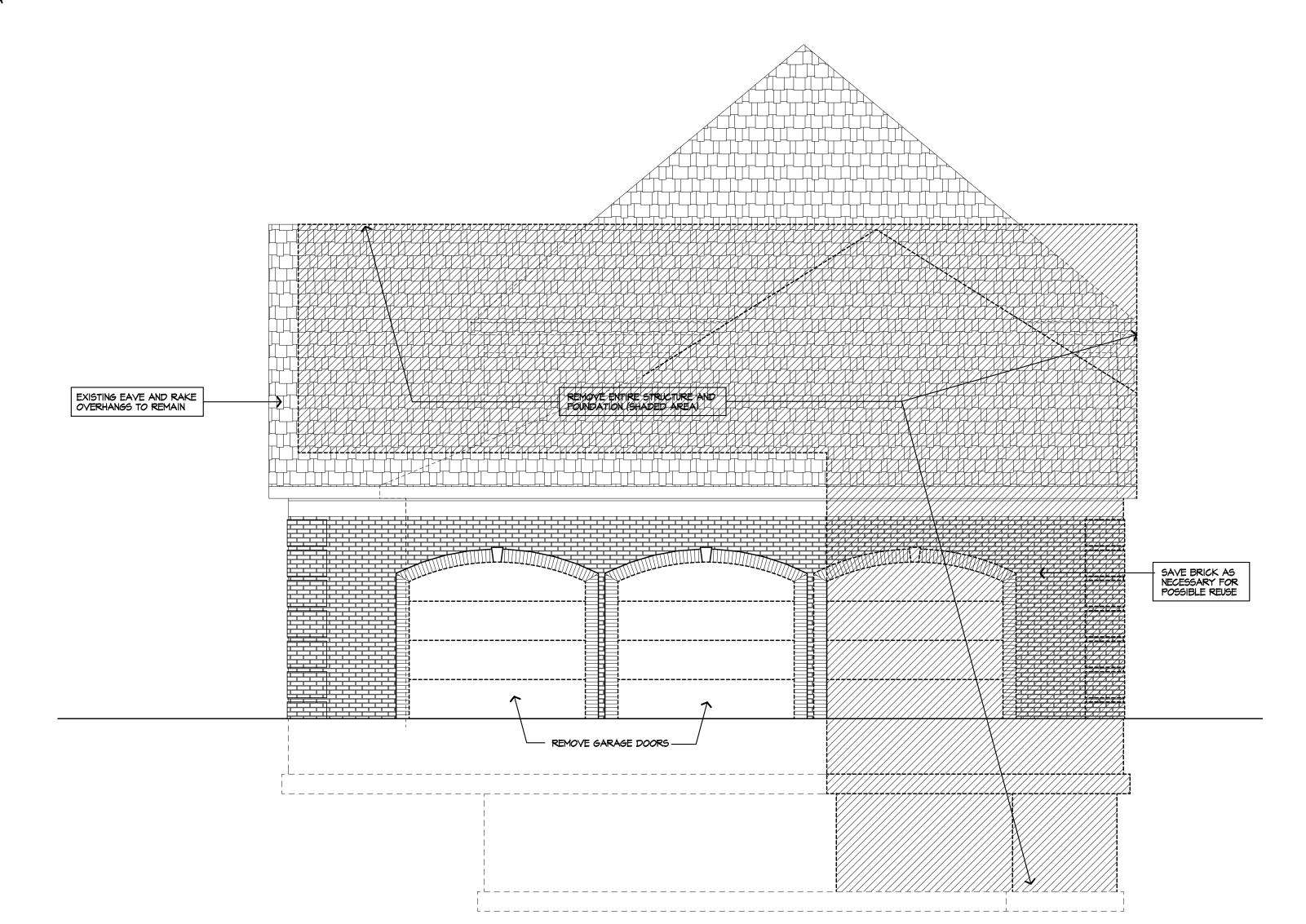




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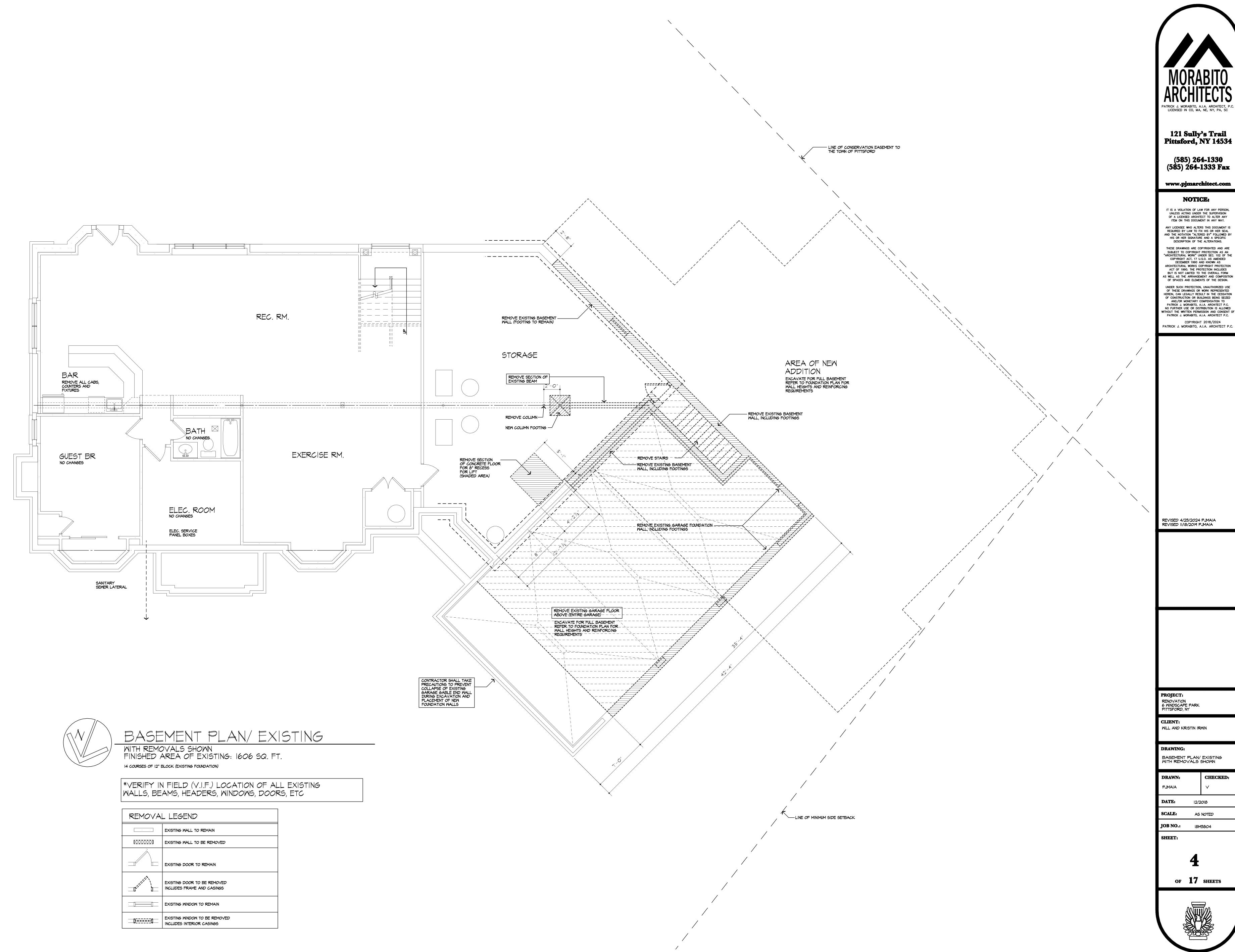
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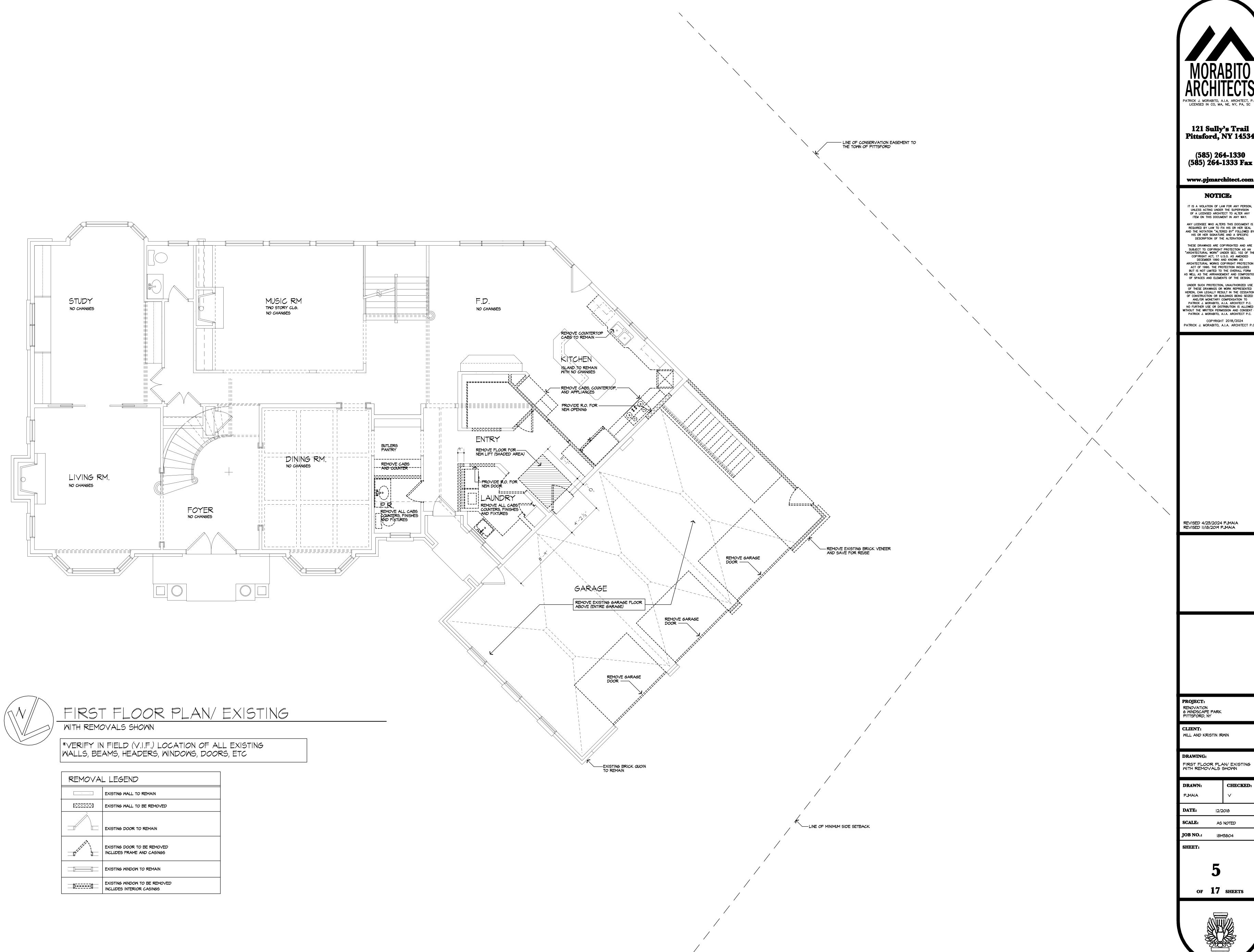
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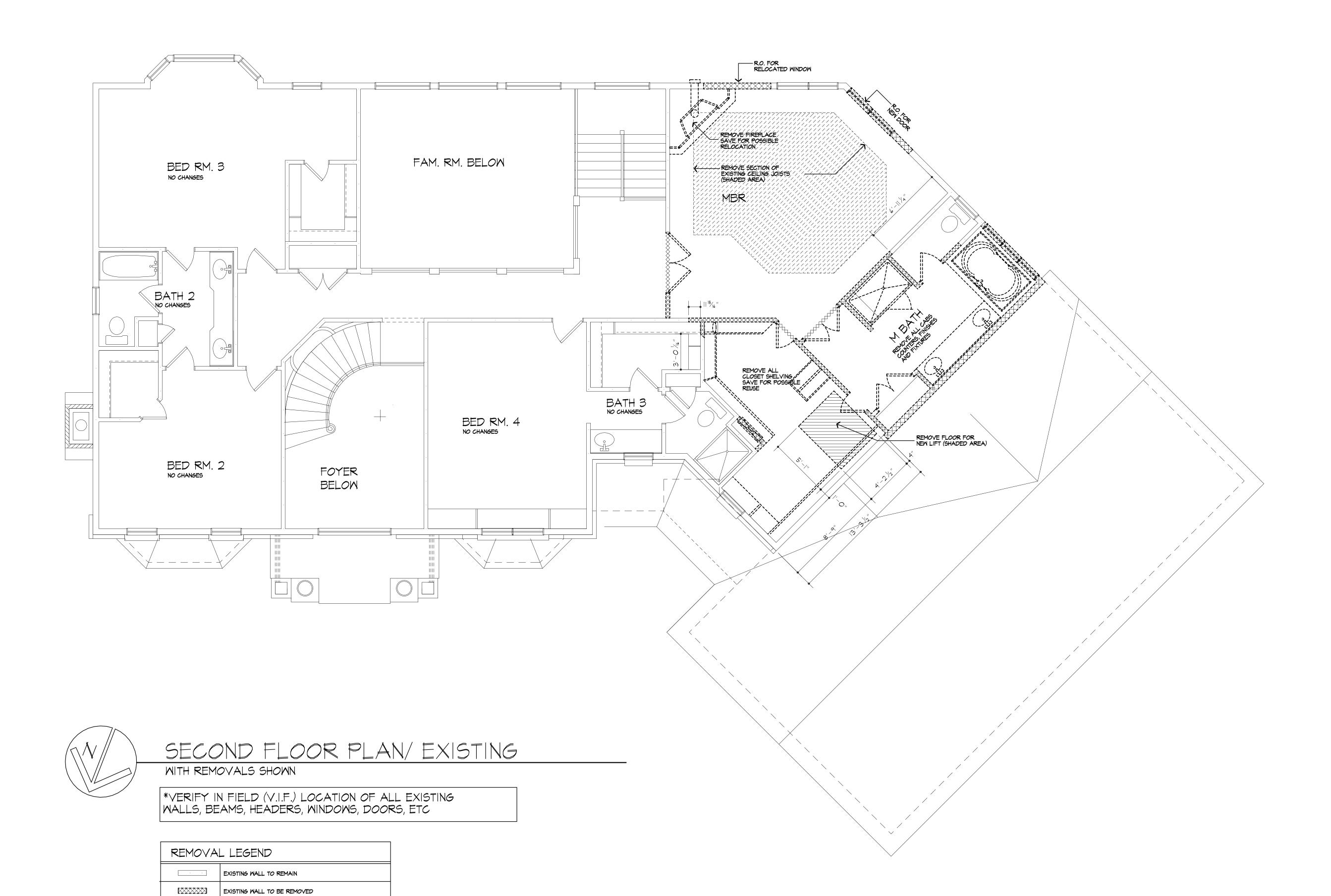
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FIRST FLOOR PLAN/ EXISTING WITH REMOVALS SHOWN

CHECKED:

12/2018 AS NOTED





EXISTING DOOR TO REMAIN

EXISTING WINDOW TO REMAIN

EXISTING WINDOW TO BE REMOVED INCLUDES INTERIOR CASINGS

EXISTING DOOR TO BE REMOVED INCLUDES FRAME AND CASINGS

MORABITO ARCHITECT, P.C. LICENSED IN CO, MA, NE, NY, PA, SC

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PROJECT:

RENOVATION
6 WINDSCAPE PARK
PITTSFORD, NY

CLIENT:
WILL AND KRISTIN IRWIN

DRAWING:

SECOND FLOOR PLAN/ EXISTING WITH REMOVALS SHOWN

SECOND FLOOR PLANY E WITH REMOVALS SHOWN

DRAWN: CHECKED:

PJMAIA

DATE: 12/2018

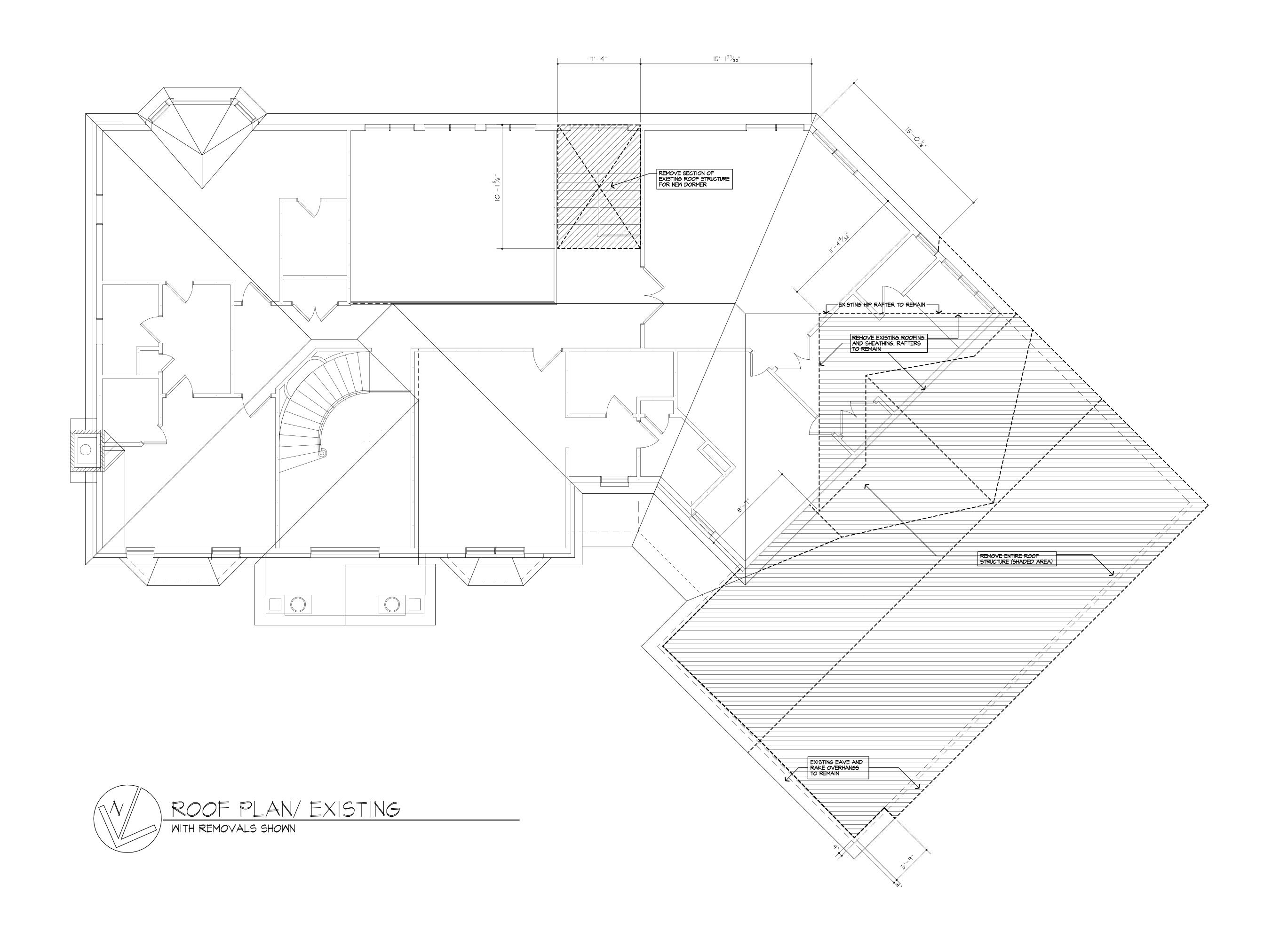
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PROJECT:
RENOVATION
6 WINDSCAPE PARK
PITTSFORD, NY

CLIENT:
WILL AND KRISTIN IRWIN

DRAWING: ROOF PLAN - EXISTING WITH REMOVALS SHOWN

DRAWN: CHECKED:

DATE: 12/2018

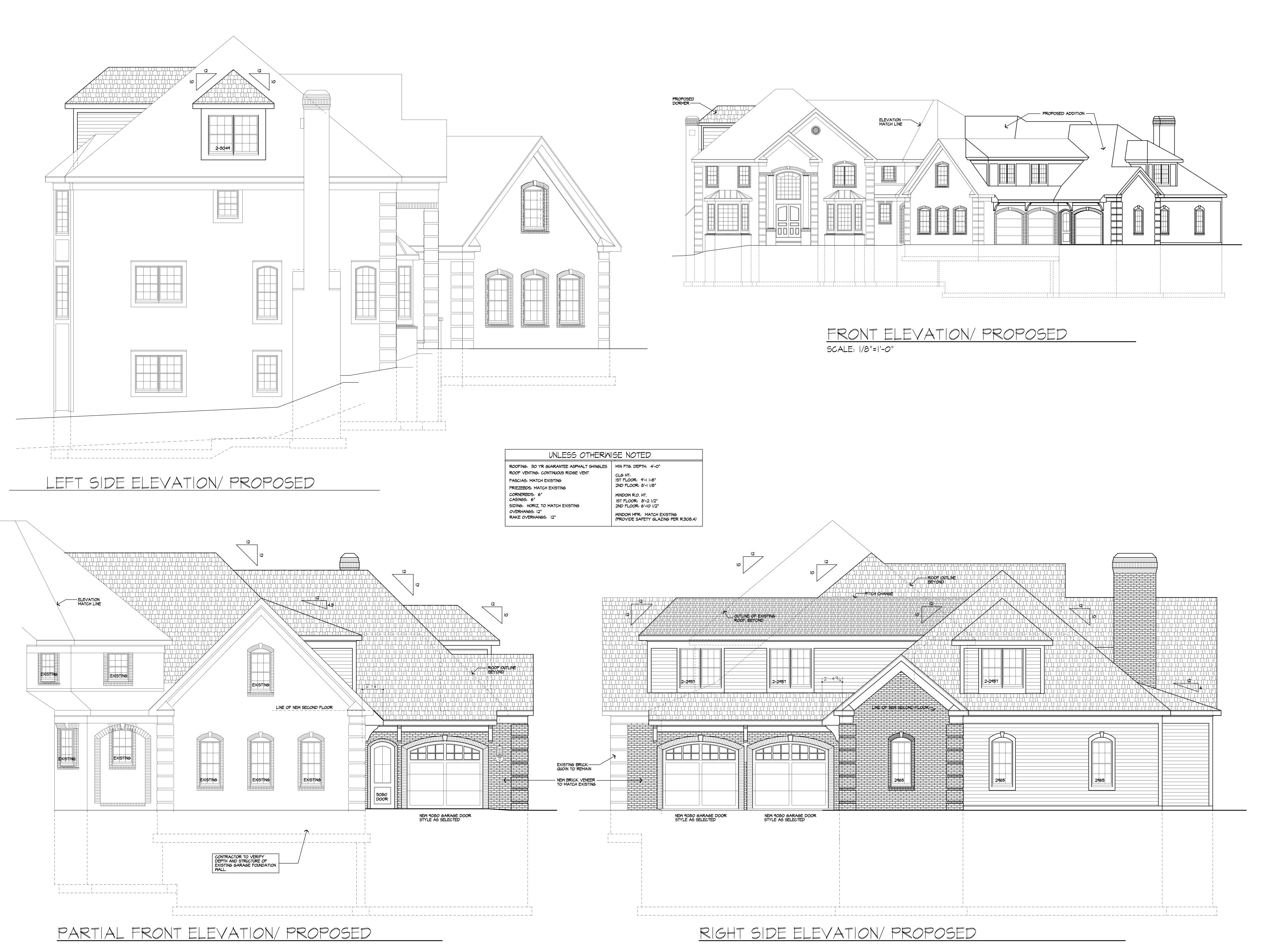
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PROJECT:
RENOVATION
6 WINDSCAPE PARK
PITTSFORD, NY

CLIENT:
WILL AND KRISTIN IRWIN

DRAWING: ELEVATIONS - PROPOSED

DRAWN: CHECKED:

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DATE: 12/2018

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PROJECT:

RENOVATION
6 MINDSCAPE PARK
PITTSFORD, NY

CLIENT: WILL AND KRISTIN IRWIN

DRAWING: ELEVATIONS - PROPOSED

DRAWN: CHECKED:

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DATE: 12/2018

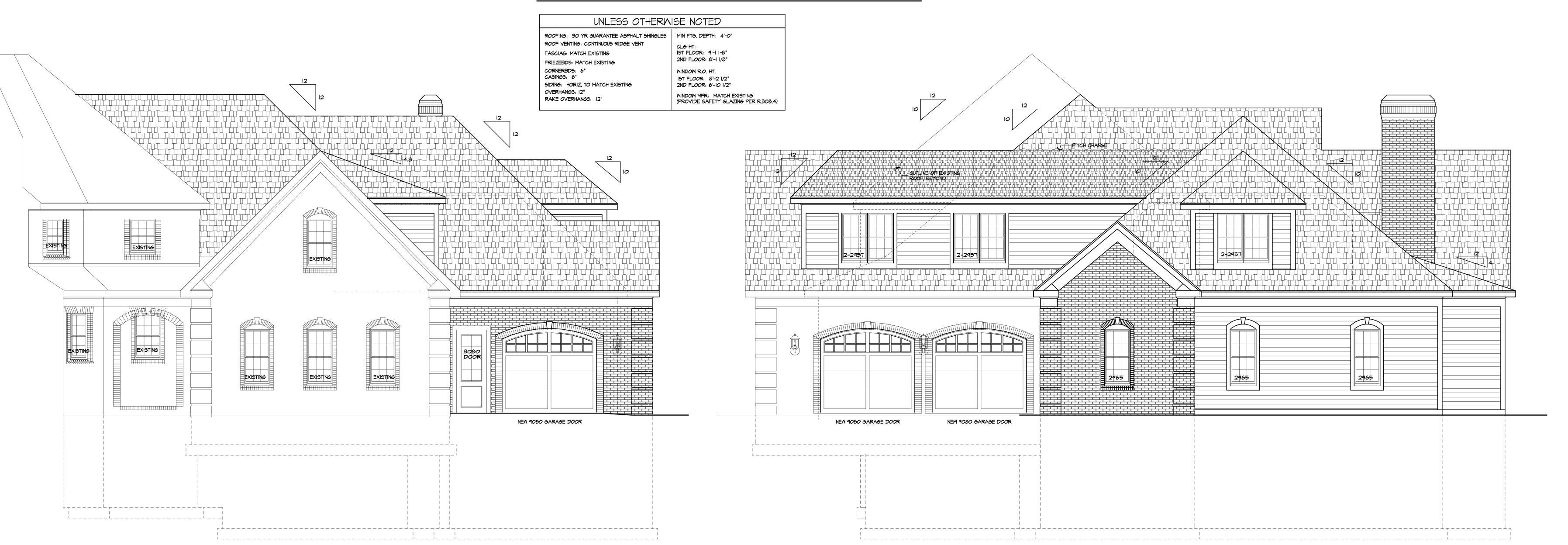
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RIGHT SIDE ELEVATION/ PROPOSED

PARTIAL FRONT ELEVATION/ PROPOSED

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PROJECT: RENOVATION 6 WINDSCAPE PARK PITTSFORD, NY

CLIENT: WILL AND KRISTIN IRWIN

DRAWING:ELEVATIONS - PROPOSED

DRAWN: CHECKED:

IOB NO.: 12/2018

12/2018

SCALE: AS NOTED

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JOB NO.: 18M3804
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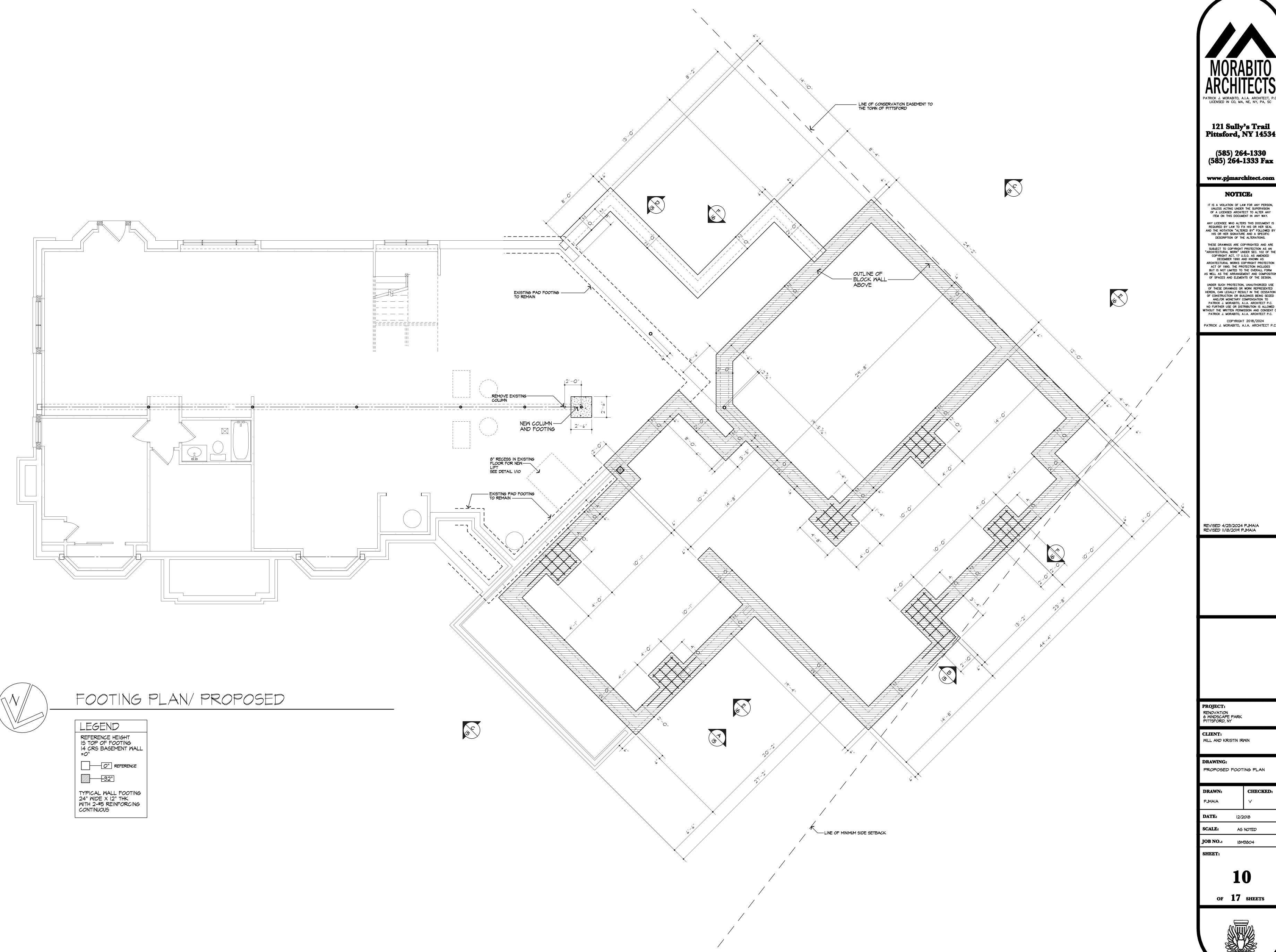
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PROJECT:

RENOVATION
6 WINDSCAPE PARK
PITTSFORD, NY

CLIENT: WILL AND KRISTIN IRWIN

PROPOSED FOOTING PLAN

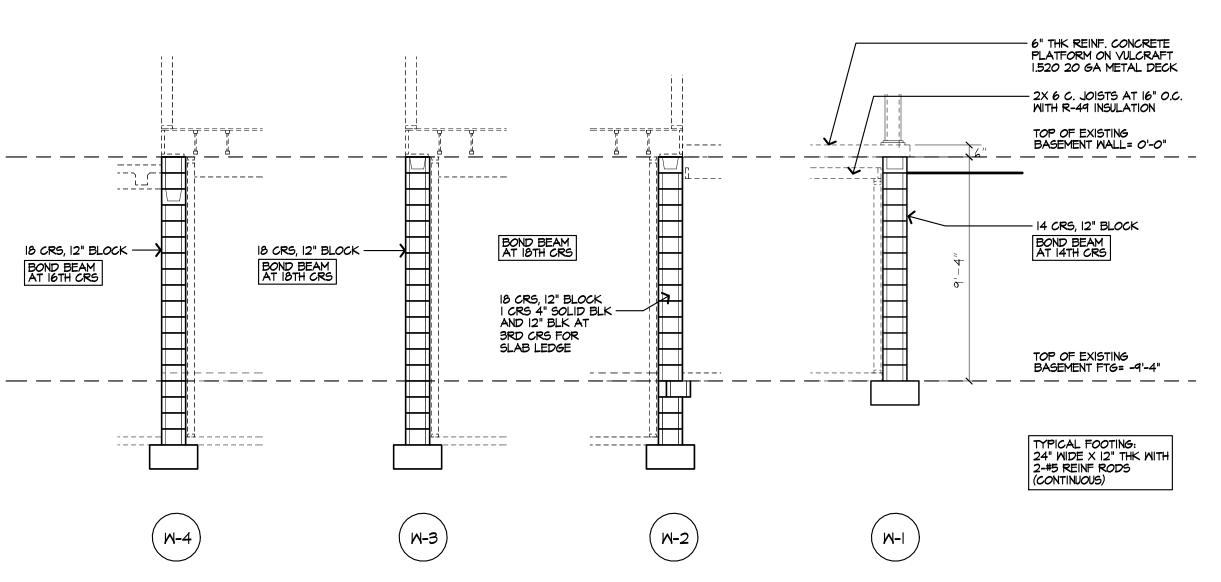
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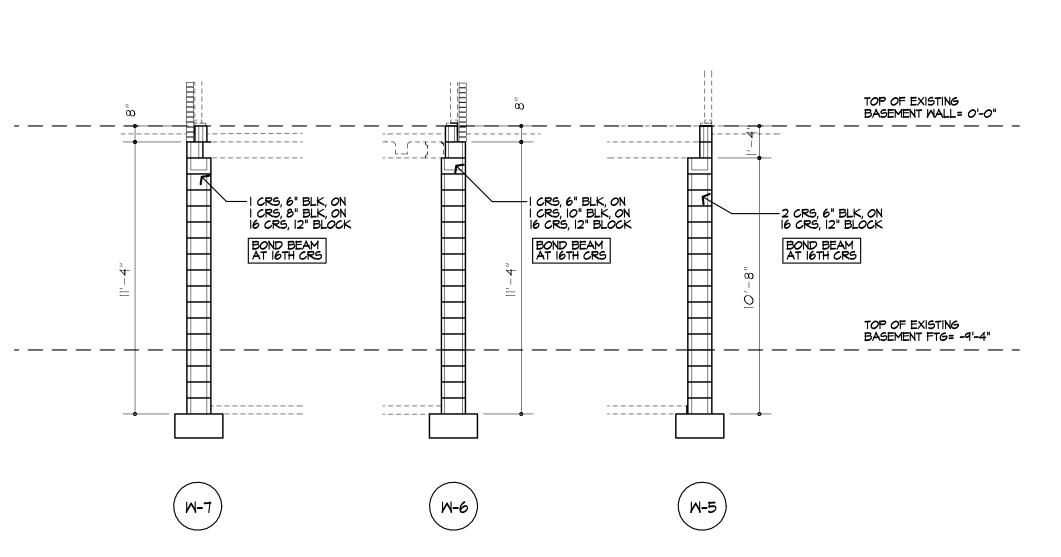
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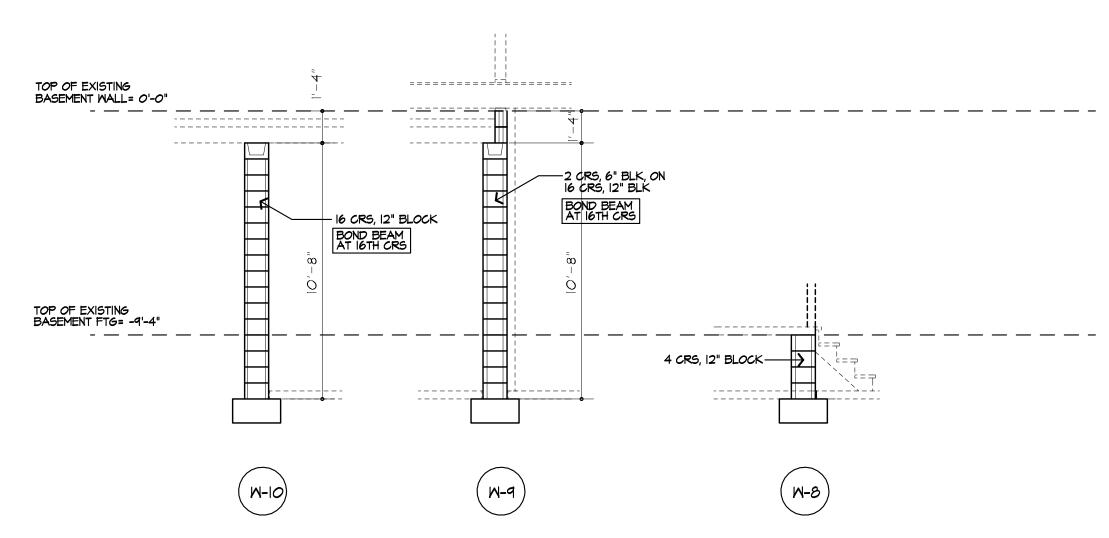
SCALE:

JOB NO.: 18M3804 SHEET:









FOUNDATION WALL TYPES

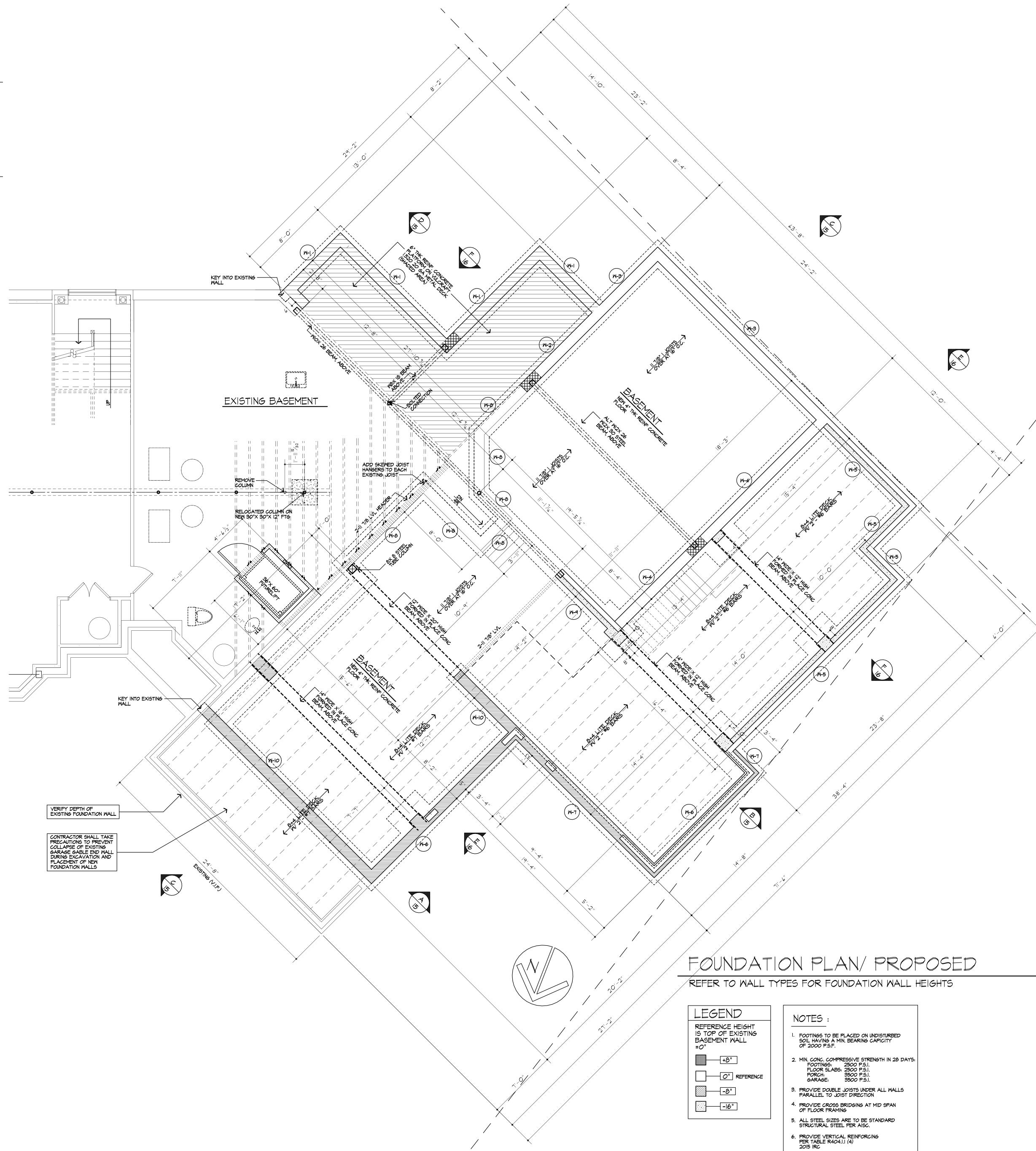
TABLE R404.I.I(4) 12-INCH MASONRY FOUNDATION WALLS WITH

		MINIMUM VERT	ICAL REINFORCEME	ENT (B, C)	
		SOIL CLASSES AND LATERA	AL SOIL LOAD (D) (PSF PER FOOT	BELOW GRADE)	
WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL (E)	GW, GP, SW AND SP SOILS		SC, ML-CL AND INORGANIC CL SOILS	
	DAORI ILL (L)	3 <i>0</i>	45	60	
	4'-0" OR LESS	#4 AT 72" O.C.	#4 AT 72" O.C.	#4 AT 72" O.C.	
9'-4"	5'-0"	#4 AT 72" O.C.	#4 AT 72" O.C.	#4 AT 72" O.C.	
	6'-0"	#4 AT 72" O.C.	#5 AT 72" O.C.	#5 AT 72" O.C.	
	7'-0"	#4 AT 72" O.C.	#5 AT 72" O.C.	#6 AT 72" O.C.	
	8'-0"	#5 AT 72" O.C.	#6 AT 72" O.C.	#6 AT 56" O.C.	
	9'-4"	#6 AT 72" O.C.	#6 AT 48" O.C.	#6 AT 40" O.C.	
	4'-0" OR LESS	#4 AT 72" O.C.	#4 AT 72" O.C.	#4 AT 72" O.C.	
II' -4 "	5'-0"	#4 AT 72" O.C.	#4 AT 72" O.C.	#4 AT 72" O.C.	
	6'-0"	#4 AT 72" O.C.	#5 AT 72" O.C.	#5 AT 72" O.C.	
	7'-0"	#4 AT 72" O.C.	#5 AT 72" O.C.	#6 AT 72" O.C.	
	8'-0"	#5 AT 72" O.C.	#6 AT 72" O.C.	#6 AT 48" O.C.	
	9'-0"	#6 AT 72" O.C.	#6 AT 56" O.C.	#6 AT 40" O.C.	
	10'-0"	#6 AT 64" O.C.	#6 AT 40" O.C.	#6 AT 32" O.C.	
,	5QUARE FOOT PER I A. MORTAR SHALL E RUNNING BOND. B. ALTERNATIVE REI EQUIVALENT CRO FOOT OF WALL S	NFORCING BAR SIZES AI 1958-SECTIONAL AREA OF HALL BE PERMITTED PRO	SONRY SHALL BE LAID IN ND SPACINGS HAVING AN REINFORCEMENT PER LINEA OVIDED THE SPACING OF TH		
Ć	C. VERTICAL REINFO	DOES NOT EXCEED 72 IN PROEMENT SHALL BE GRA THE FACE OF THE SOIL S TICAL REINFORCEMENT SI	ADE 60 MINIMUM. THE SIDE OF THE WALL TO THE		
1		RE IN ACCORDANCE WITH	HTHE UNIFIED SOIL TERAL SOIL LOADS ARE FO		

E. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT
BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF
THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION
WALL OR THE INTERIOR FINISH GROUND LEVELS, WHERE AN INTERIOR

CONCRETE SLAB-ON-GRADE IS PROVIDED AND IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL, MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT IS PERMITTED TO BE MEASURED FROM

THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.





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PROJECT:

RENOVATION
6 WINDSCAPE PARK
PITTSFORD, NY

WILL AND KRISTIN IRWIN

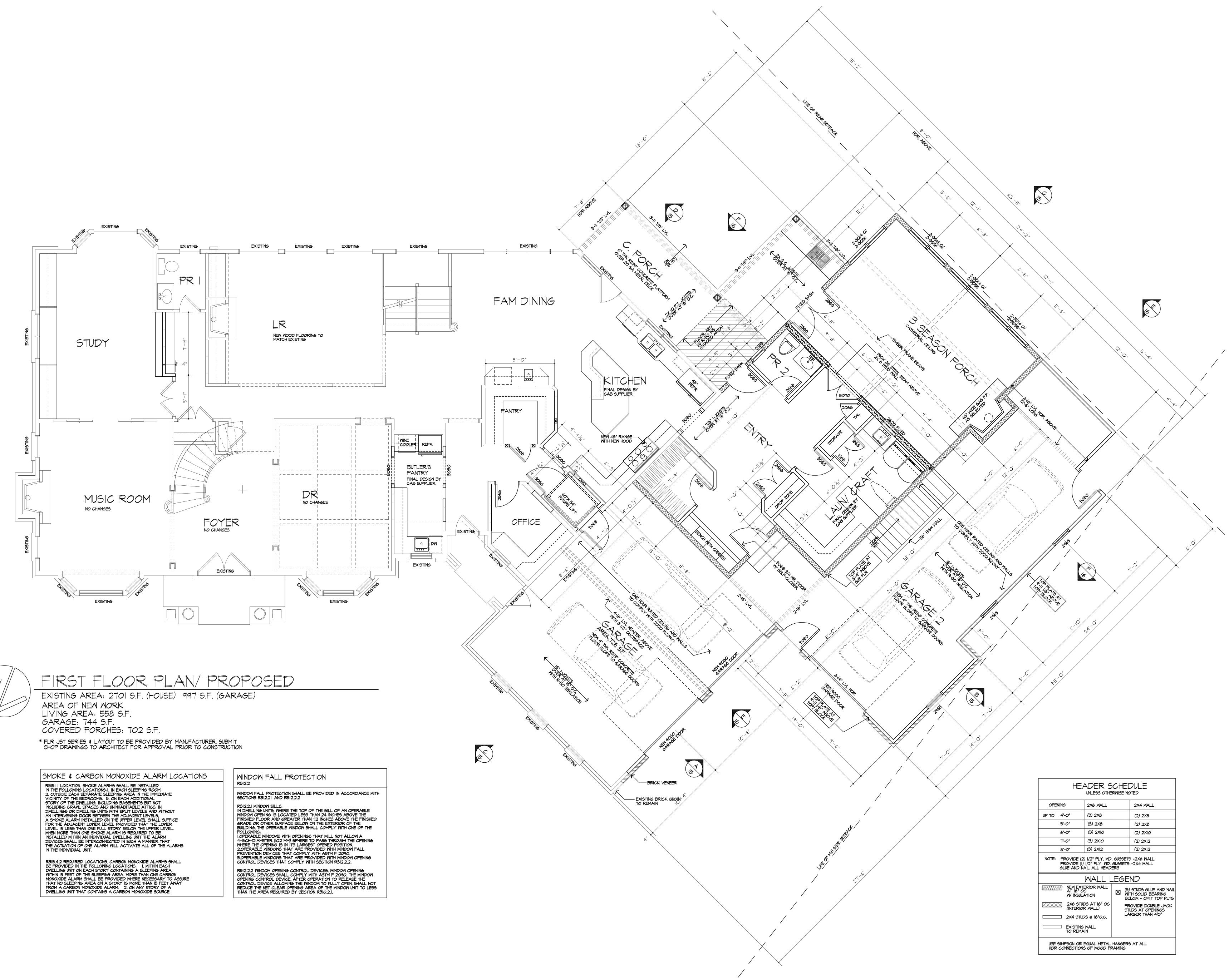
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PROJECT:

RENOVATION
6 WINDSCAPE PARK
PITTSFORD, NY

CLIENT:
WILL AND KRISTIN IRWIN

DRAWING: IST FLOOR PLAN PROPOSED

DRAWN: CHECKED:
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 12/2018

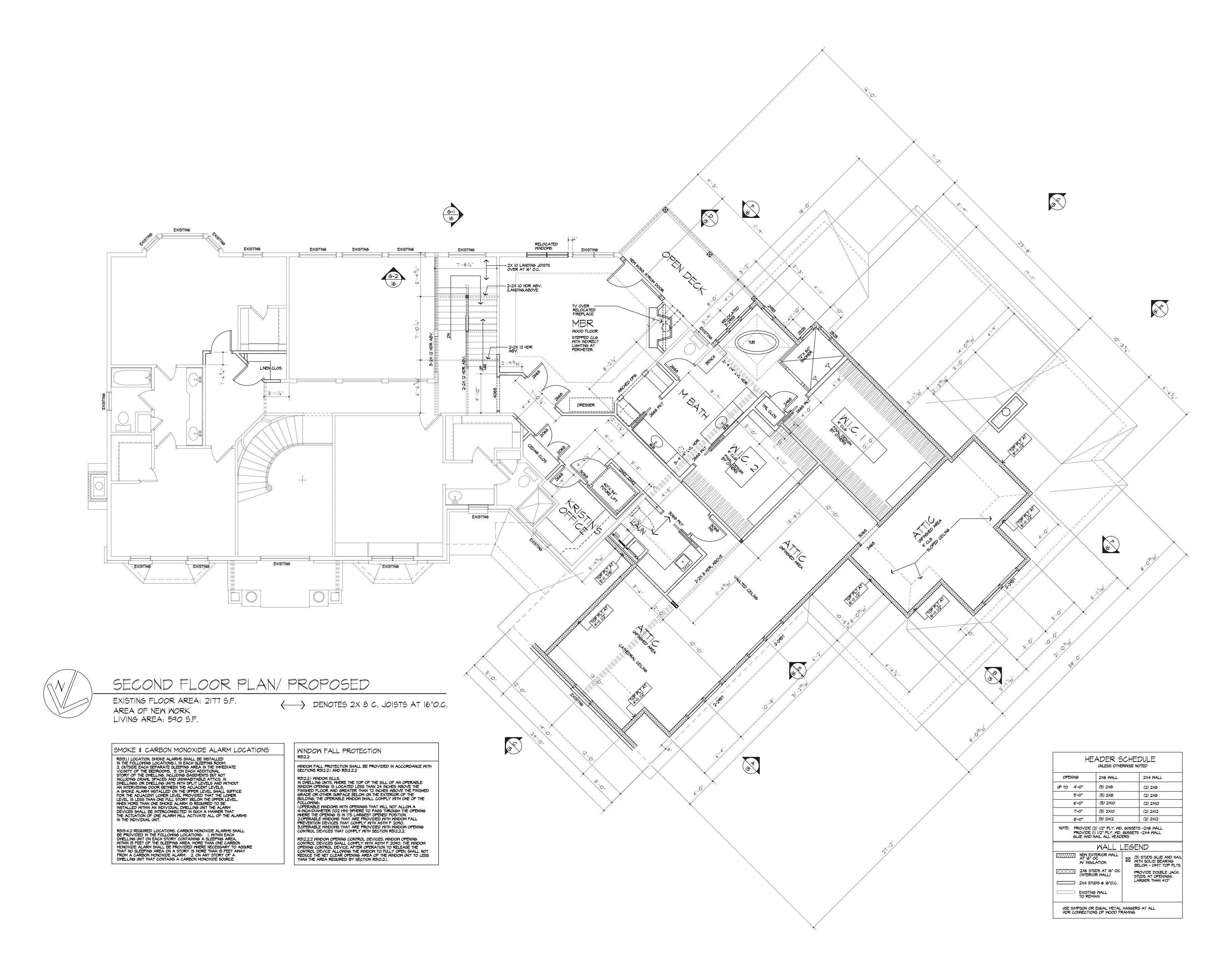
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RENOVATION 6 WINDSCAPE PARK PITTSFORD, NY

CLIENT: WILL AND KRISTIN IRWIN

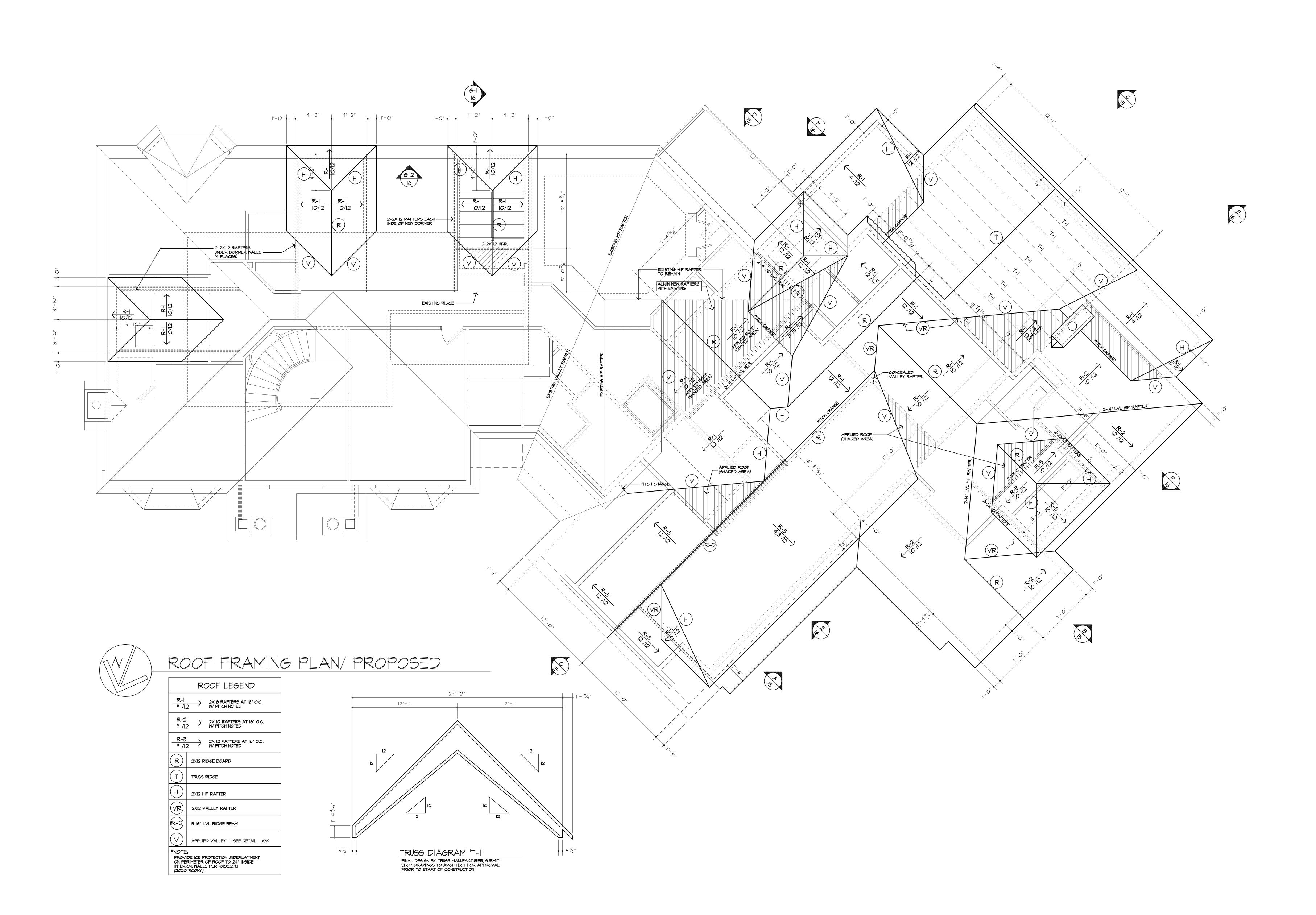
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2ND FLOOR PLAN PROPOSED

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REVISED 4/23/2024 PJMAIA REVISED II/I8/2019 PJMAIA

PROJECT:

RENOVATION
6 WINDSCAPE PARK
PITTSFORD, NY

CLIENT:
WILL AND KRISTIN IRWIN

DRAWING: ROOF PLAN - PROPOSED

DRAWN: CHECKED:

PJMAIA

V

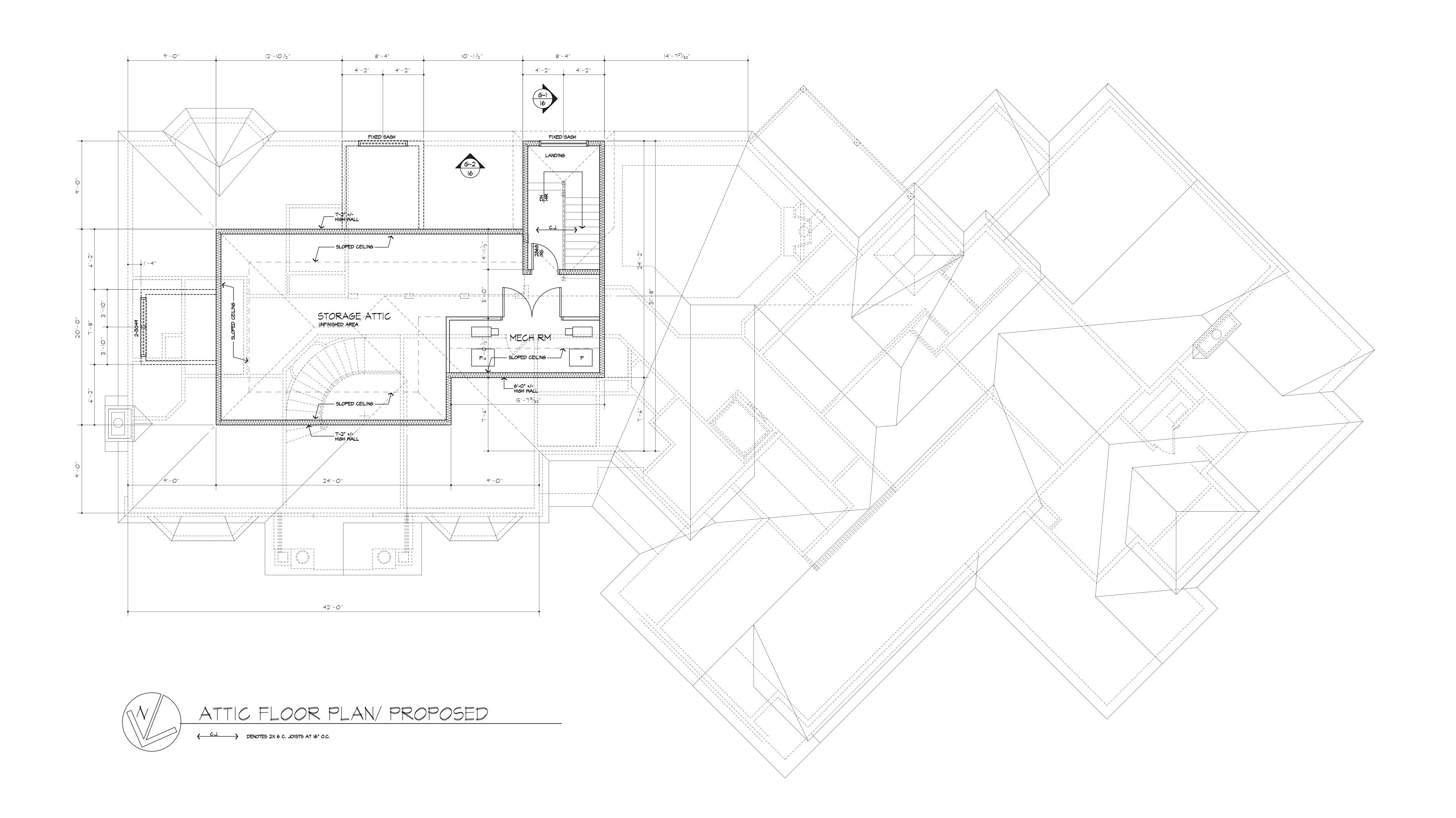
DATE: |2/20|8

SCALE: AS NOTED

JOB NO.: 18M3804
SHEET:

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PROJECT:
RENOVATION
6 WINDSCAPE PARK
PITTSFORD, NY

CLIENT:
WILL AND KRISTIN IRWIN

ATTIC PLAN

DRAWN: 12/2018

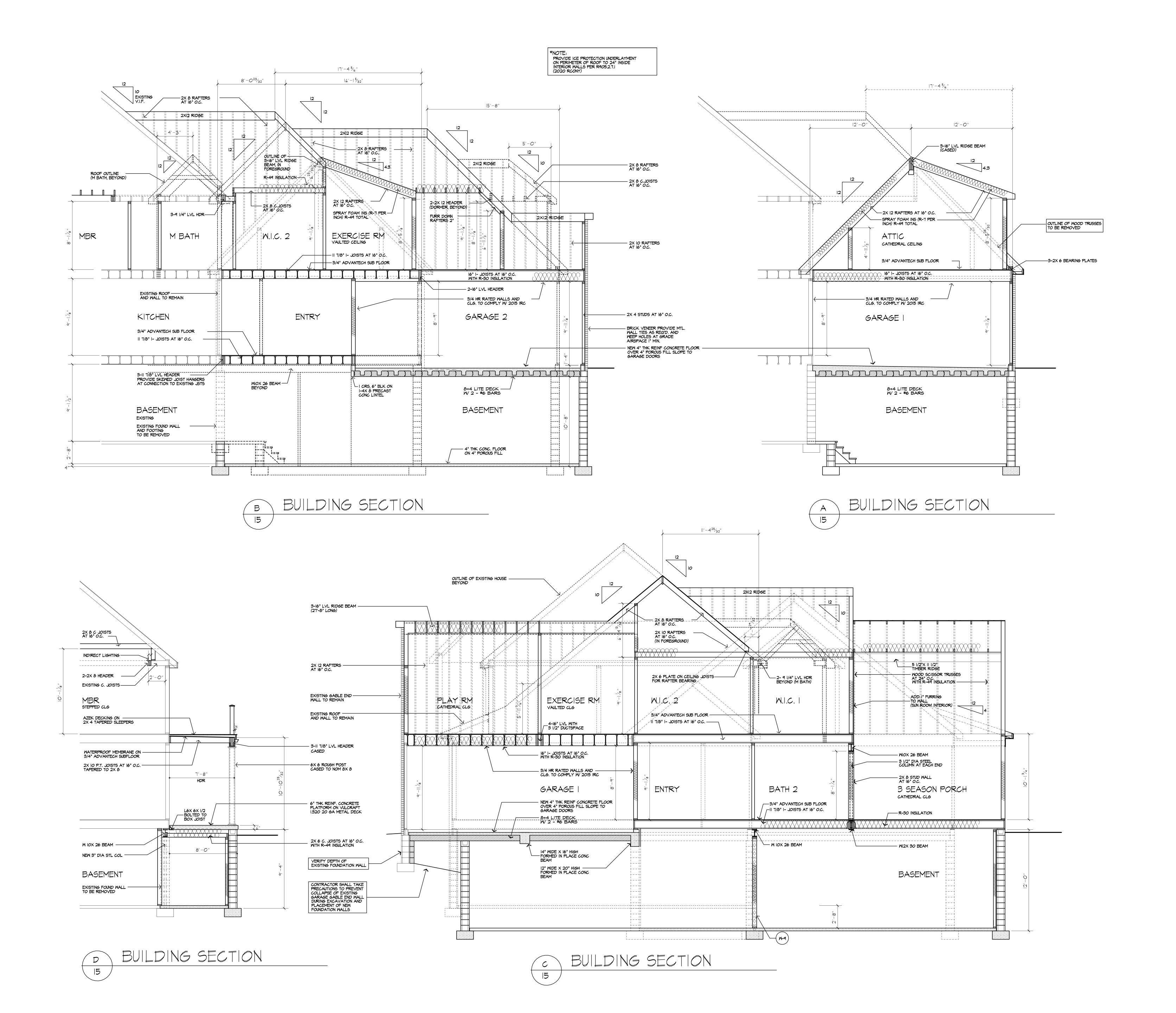
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PROJECT:
RENOVATION
6 WINDSCAPE PARK
PITTSFORD, NY

CLIENT:
MILL AND KRISTIN IRMIN

DRAWING:

DRAWN: CHECKED:

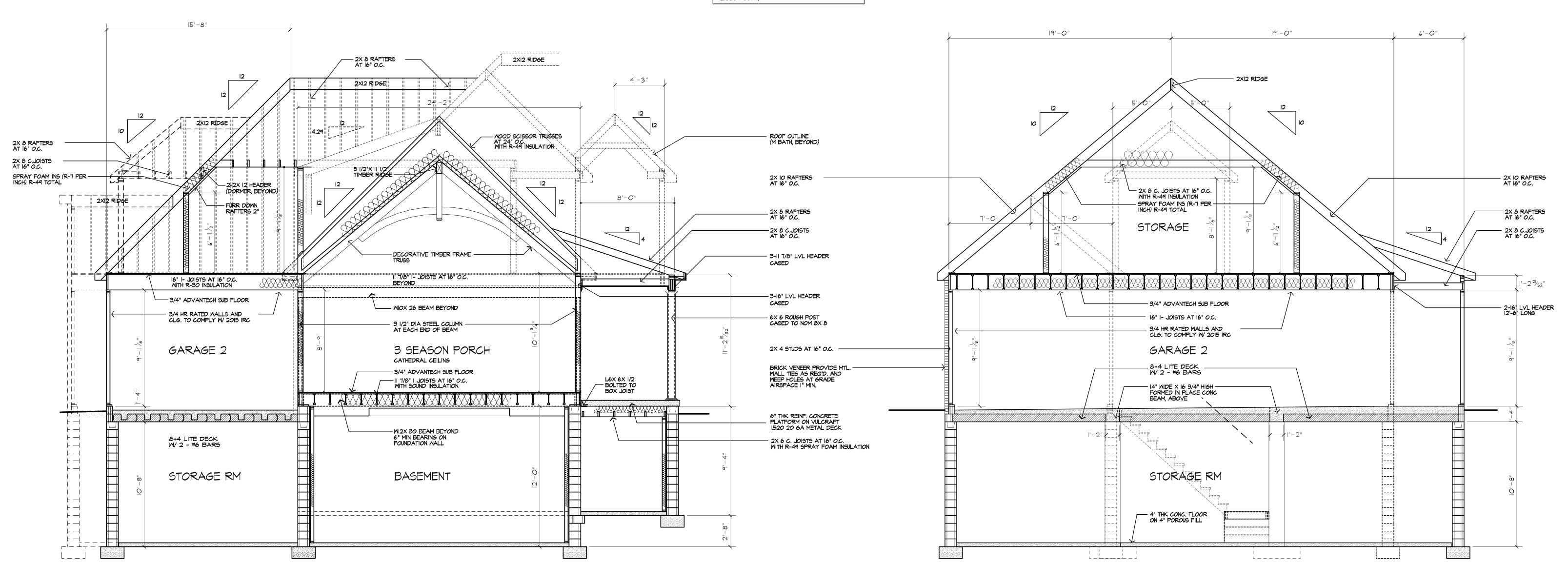
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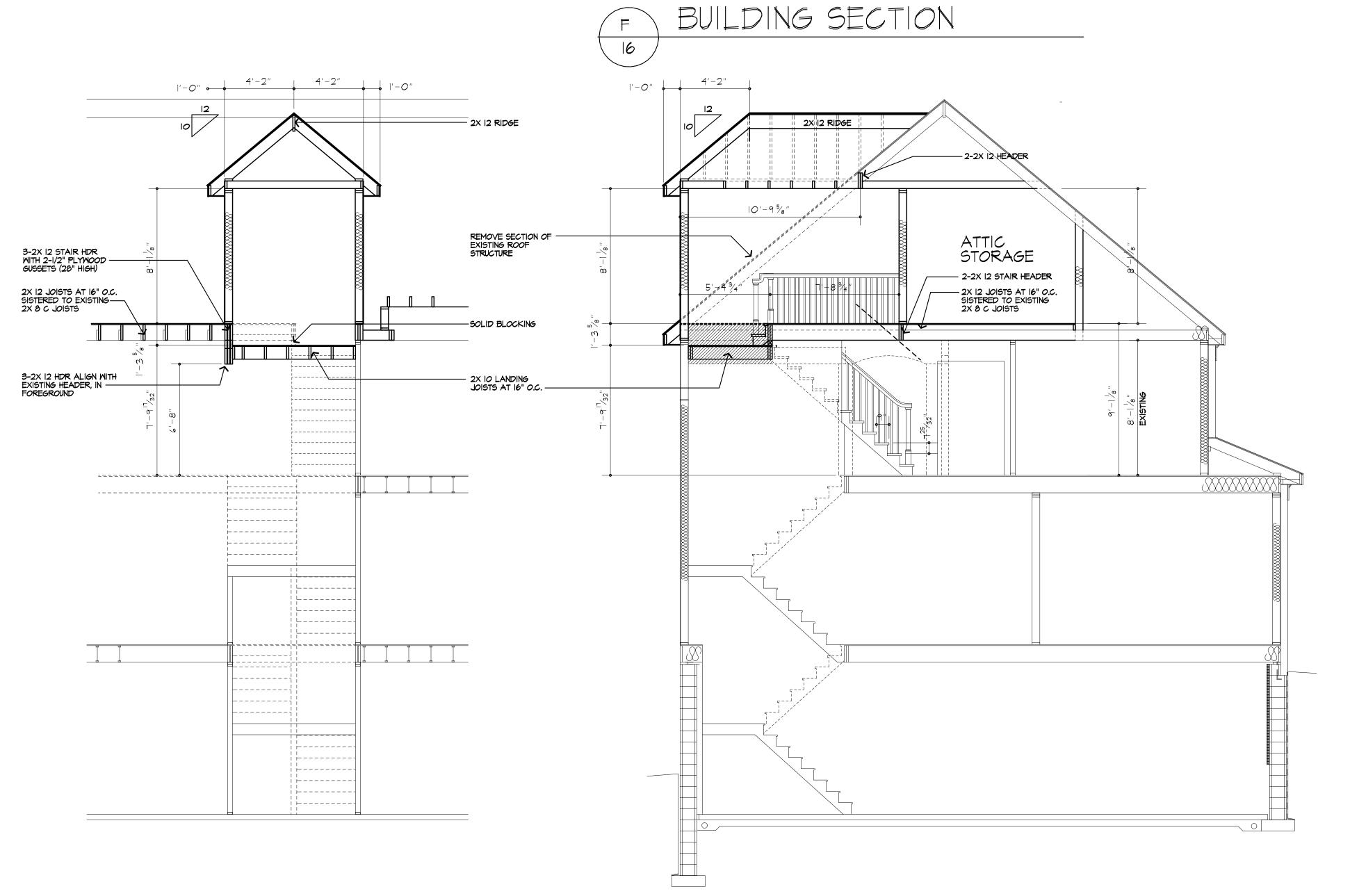
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BUILDING SECTION

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PROJECT:

RENOVATION
6 WINDSCAPE PARK
PITTSFORD, NY

CLIENT:
WILL AND KRISTIN IRWIN

DRAWING:
BUILDING SECTIONS

DRAWN: CHECKED:

ATE: 12/2018

SCALE: AS NOTED

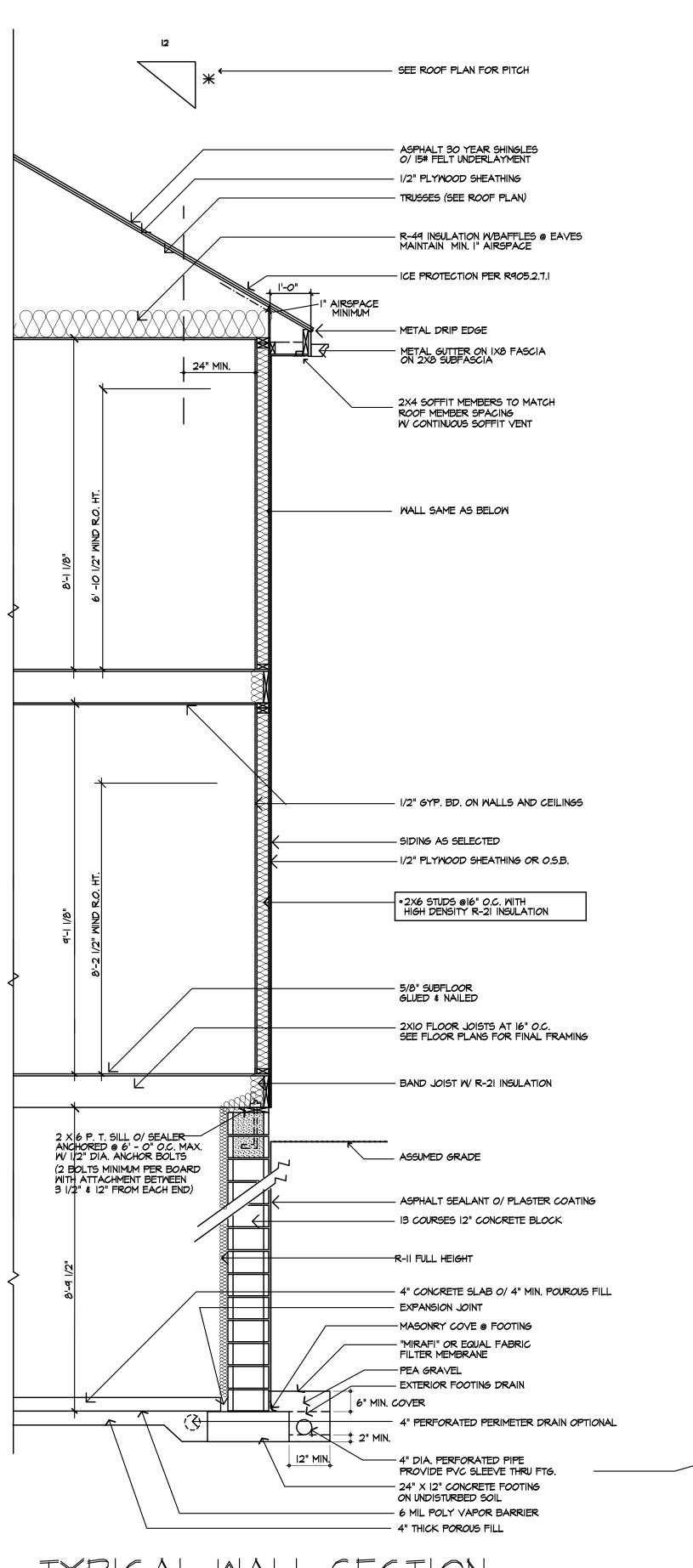
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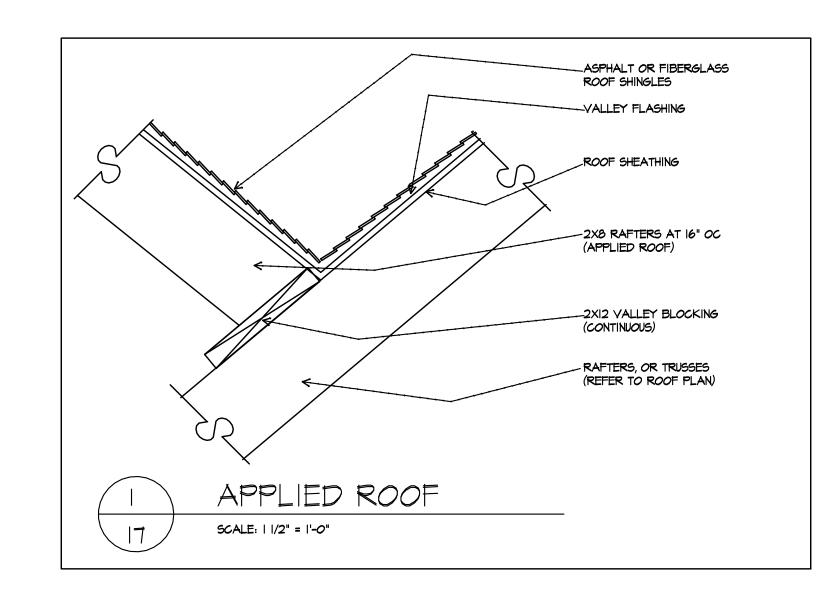
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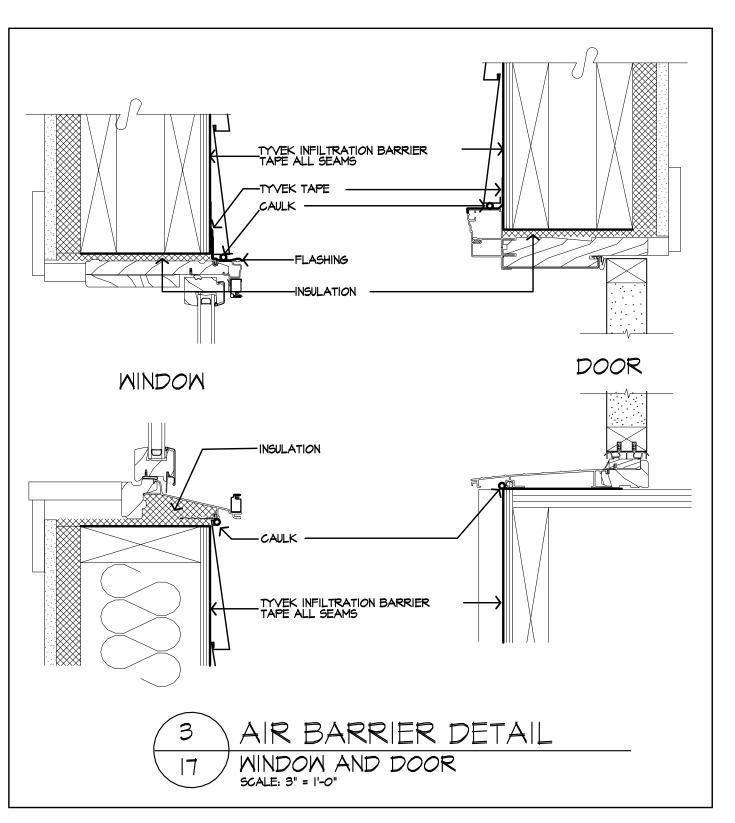
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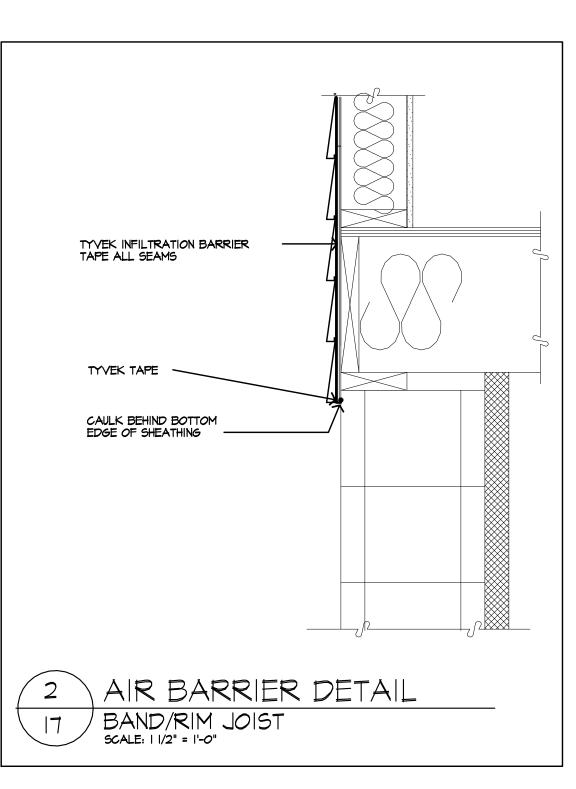
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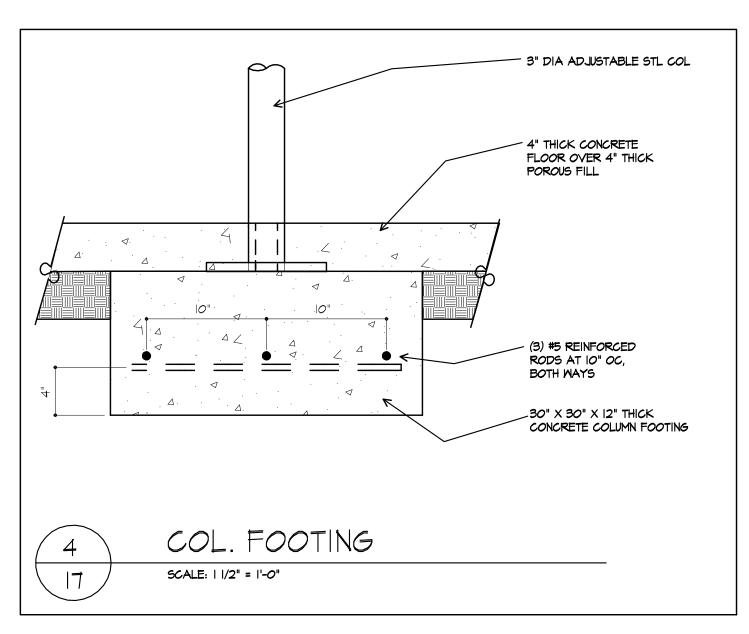












TYPICAL MALL SECTION SCALE:

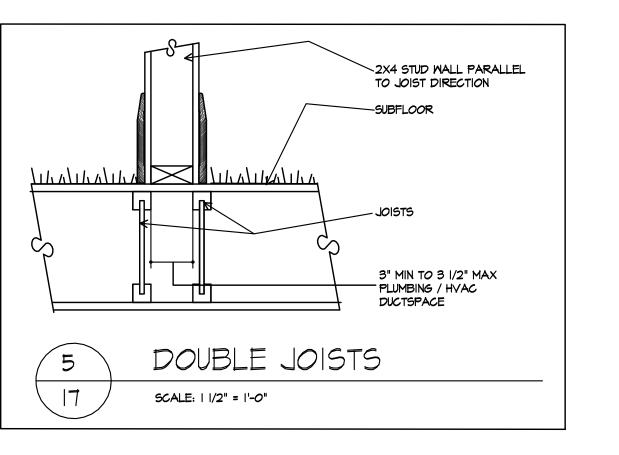
TYPICAL NOTES) DOOR MANUFACTURER: PELLA OR EQUAL

) WINDOW AND DOOR AIR INFILTRATION PELLA MINDOMS: OR EQUAL DOUBLE HUNG 0.30 CFM CASEMENT, AWNING, FIXED 0.05 CFM DOORS: 0.30 CFM OR LESS SLIDING 0.10 CFM

IN-SMING HINGED O.15 CFM

3.) GAS FIREPLACE(S): HEAT-N-GLO 6000C DIRECT VENT • TIGHT FITTING NON CUMBUSTABLE FIREPLACE DOORS TO CONTROL INFILTRATION LOSSES SHALL BE INSTALLED ON FIREPLACE OPENINGS- FIREPLACES SHALL BE PROVIDED WITH A SOURCE OF COMBUSTION AIR AS REQUIRED BY THE RESIDENTIAL CODE OF NEW YORK STATE

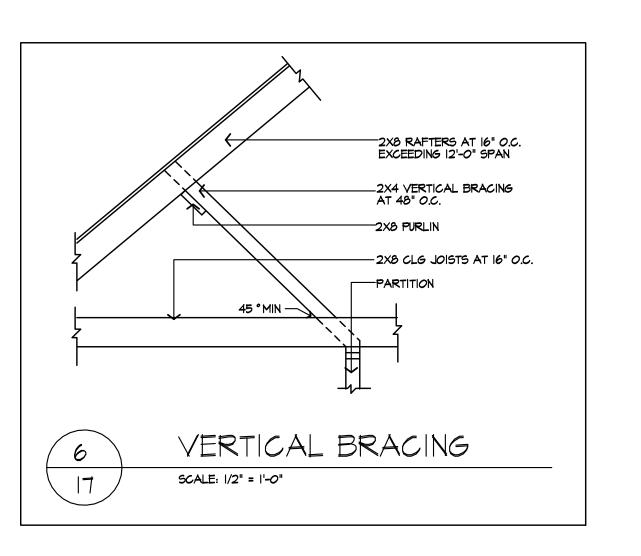
- 4.) JOINTS IN DUCT SYSTEM SEALED WITH MASTIC, TAPE OR GASKETING. 5.) CLASS II VAPOR RETARDER ON INTERIOR OF CEILINGS AND 2X6 FRAMED WALLS: KRAFT BATTS
- O.) MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105F OR BELOW 55F SHALL BE INSULATED TO A MINIMUM OF R-3.
-) BUILDING CAVITIES SHALL NOT BE USED FOR SUPPLY DUCTS.
- 8.) DAMPERS INSTALLED ON ALL OUTDOOR INTAKE AND EXHAUST OPENINGS. THE AIR HANDLER AND ALL DUCTS SHALL BE LOCATED WITHIN THE CONDITIONED SPACE. IF ANY DUCTWORK IS LOCATED COMPLETELY OUTSIDE OF THE CONDITIONED SPACE THE DUCT TIGHTNESS SHALL BE VERIFIED PER SECTION 403.2.2 OF THE 2010 ENERGY CONSERVATION
- IO.) ANY SUPPLY DUCTS IN THE ATTICS SHALL BE INSULATED TO A MINIMUM OF R-8. ALL OTHER DUCTS LOCATED COMPLETELY OUTSIDE OF THE BUILDING THERMAL ENVELOPE SHALL BE INSULATED TO A MINIMUM OF R-6. THERE ARE NOT TO BE WATER SUPPLY LINES IN THE EXTERIOR WALLS



HAUCH FOOTING AT

*NOT REQUIRED FOR 12" THICK FOOTINGS

PVC SLEEVE



COMPONENT	CRITERIA
GENERAL	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE
	BREAKS OR JOINTS IN THE AIR BARRIER ARE SEALED
	AIR PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL
	THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER
CEILING/ATTIC	AIR BARRIER IN ANY DROPPED CEILING OR SOFFIT IS SUBSTANTIALLY ALIGNED WITH INSULATION AND ANY GAPS ARE SEALED
WALLS	CORNERS AND HEADERS ARE INSULATED (R-3 PER INCI
	JUNCTION OF FOUNDATION AND SILL PLATE IS SEALED
WINDOWS AND DOORS	SPACE BETWEEN WINDOW AND DOOR JAMBS AND FRAMING IS SEALED
RIM JOISTS	RIM JOISTS ARE INSULATED AND INCLUDE AN AIR BARRIER
FLOORS - INCLUDING ABOVE GARAGE AND CANTILEVERED FLOORS	INSULATION IS INSTALLED TO MAINTAIN PERMANENT CONTACT WITH UNDERSIDE OF SUBFLOOR DECKING
OANTIEL VERED TEOORS	AIR BARRIER IS INSTALLED AT ANY EXPOSED EDGE OF INSULATION
CRAML-SPACE WALLS	INSULATION IS PERMANENTLY ATTACHED TO WALLS
	EXPOSED EARTH IN UNVENTED CRAWL SPACES IS COVERED WITH CLASS I VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED
SHAFTS PENETRATIONS	DUCT SHAFTS, UTILITY PENETRATIONS, KNEE WALLS AND FLUE SHAFTS OPENING TO EXTERIOR OR UNCONDITIONE SPACE ARE SEALED
NARROM CAVITIES	BATTS IN NARROW CAVITIES ARE CUT TO FIT, OR NARROW CAVITIES ARE FILLED BY SPRAYED/BLOWN INSULATION
GARAGE SEPARATION	AIR SEALING IS PROVIDED BETWEEN GARAGE AND CONDITIONED SPACES
RECESSED LIGHTING	RECESSED LIGHT FIXTURES ARE AIR TIGHT, IC RATED, AND SEALED TO DRYWALL. EXCEPTION; FIXTURES IN CONDITIONED SPACE
PLUMBING AND WIRING	INSULATION IS PLACED BETWEEN OUTSIDE AND PIPES
	BATT INSULATION IS OUT TO FIT AROUND MIRING AND PLUMBING, OR SPRAYED/BLOWN INSULATION EXTENDS BEHIND PIPING AND WIRING
SHOWER OR TUB ON EXTERIOR WALL	SHOWERS AND TUBS ON EXTERIOR WALLS HAVE INSULATION AND AN AIR BARRIER SEPARATING THEM FROM THE EXTERIOR WALL
ELECTRICAL OR PHONE BOX ON EXTERIOR WALLS	AIR BARRIER EXTENDS BEHIND BOXES OR AIR SEALED-TYPE BOXES ARE INSTALLED
HVAC REGISTER BOOTS	HVAC REGISTER BOOTS THAT PENETRATE BUILDING ENVELOPE ARE SEALED TO SUBFLOOR OR DRYWALL
FIREPLACE	FIREPLACE WALLS INCLUDE AN AIR BARRIER

LIGHTING FIXTURE CONTROL NARRATIVE AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN EVERY HABITABLE ROOM AND BATHROOM. AT LEAST ONE INSTALLED IN EVERY HABITABLE ROOM AND BATHROOM. AT LEAST ONE WALL-SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN HALLWAYS, STAIRWAYS, ATTACHED GARAGES, AND DETACHED GARAGES WITH ELECTRICAL POWER. AT LEAST ONE WALL-SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED TO PROVIDE ILLUMINATION ON THE EXTERIOR SIDE OF EACH OUTDOOR EGRESS DOOR HAVING GRADE LEVEL ACCESS, INCLUDING OUTDOOR EGRESS DOORS FOR ATTACHED AND DETACHED GARAGES WITH ELECTRICAL POWER. WHERE ONE OR MORE LIGHTING OUTLETS ARE INSTALLED FOR INTERIOR STAIRWAYS, THERE SHALL BE A WALL SWITCH AT EACH FLOOR LEVEL AND LANDING LEVEL THAT INCLUDES AN ENTRYWAY TO CONTROL THE LIGHTING OUTLETS WHERE THE STAIRWAY BETWEEN FLOOR LEVELS HAS SIX OR MORE RISERS. IN ATTICS, UNDER-FLOOR SPACES, UTILITY ROOMS AND BASEMENTS, AT LEAST ONE LIGHTING OUTLET SHALL BE INSTALLED WHERE THESE SPACES ARE USED FOR STORAGE OR CONTAIN EQUIPMENT REQUIRING SERVICING. SUCH LIGHTING OUTLET SHALL BE CONTROLLED BY A WALL SWITCH OR SHALL HAVE AN INTEGRAL SWITCH. AT LEAST ONE POINT OF CONTROL SHALL BE AT THE USUAL POINT OF ENTRY TO THESE SPACES. THE LIGHTING OUTLET SHALL BE AT THE USUAL POINT OF ENTRY TO THESE SPACES. THE LIGHTING OUTLET SHALL BE AT THE USUAL POINT OF ENTRY TO THESE SPACES. THE LIGHTING OUTLET SHALL BE AT THE USUAL POINT OF ENTRY TO THESE SPACES. THE LIGHTING OUTLET SHALL BE AT THE USUAL POINT OF ENTRY TO THESE SPACES. THE LIGHTING OUTLET SHALL BE PROVIDED AT OR NEAR THE EQUIPMENT REQUIRING SERVICING.

LIGHTING FIXTURE SCHEDULE OUTDOOR EGRESS DOORS (EACH) MINIMUM (I) 60 WATT FIXTURE
BASEMENT MINIMUM (5) 60 WATT FIXTURES
STAIRWAYS MINIMUM (I) 60 WATT FIXTURE
HALLWAYS MINIMUM (I) 120 WATT FIXTURE
GARAGE ENTRY MINIMUM (I) 120 WATT FIXTURE
LAUNDRY ROOM MINIMUM (I) 120 WATT FIXTURE
WALK-IN CLOSETS MINIMUM (I) 60 WATT FIXTURE
POWDER ROOM MINIMUM (I) 120 WATT FIXTURE
BATHROOM (EACH) MINIMUM (I) 120 WATT FIXTURE
DINETTE MINIMUM (I) 120 WATT FIXTURE
KITCHEN MINIMUM (I) 120 WATT FIXTURE
DINING ROOM MINIMUM (I) 120 WATT FIXTURE
ALL OTHER FIRST FLOOR ROOMS (EACH) MINIMUM (I) 120 WATT FIXTURE
ALL OTHER SECOND FLOOR ROOMS (EACH) MINIMUM (I) 120 WATT FIXTURE
ATTIC SPACE MINIMUM (I) 60 WATT FIXTURE
GARAGE MINIMUM (2) 60 WATT FIXTURE

SMOKE & CARBON MONOXIDE ALARM LOCATIONS R3I3.I.I LOCATION. SMOKE ALARMS SHALL BE INSTALLED
IN THE FOLLOWING LOCATIONS: I. IN EACH SLEEPING ROOM.
2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE
VICINITY OF THE BEDROOMS. 3. ON EACH ADDITIONAL
STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT
INCLUDING CRANL SPACES AND UNINHABITABLE ATTICS. IN
DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT
AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS,
A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE
FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER
LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL.
WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE
INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM
DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.

RENOVATION 6 WINDSCAPE PARK PITTSFORD, NY R3I3.4.2 REQUIRED LOCATIONS. CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: I. WITHIN EACH DWELLING UNIT ON EACH STORY CONTAINING A SLEEPING AREA, WITHIN 15 FEET OF THE SLEEPING AREA. MORE THAN ONE CARBON MONOXIDE ALARM SHALL BE PROVIDED WHERE NECESSARY TO ASSURE THAT NO SLEEPING AREA ON A STORY IS MORE THAN 15 FEET AWAY FROM A CARBON MONOXIDE ALARM. 2. ON ANY STORY OF A DWELLING UNIT THAT CONTAINS A CARBON MONOXIDE SOURCE. CLIENT: WILL AND KRISTIN IRWIN

DRAWING: WALL SECTIONS CHECKED: **DRAWN:**

PROJECT:

AIAMLA DATE: 12/2018 SCALE: AS NOTED

PATRICK J. MORABITO, A.I.A. ARCHITECT, P. LICENSED IN CO, MA, NE, NY, PA, SC

121 Sully's Trail

Pittsford, NY 14534

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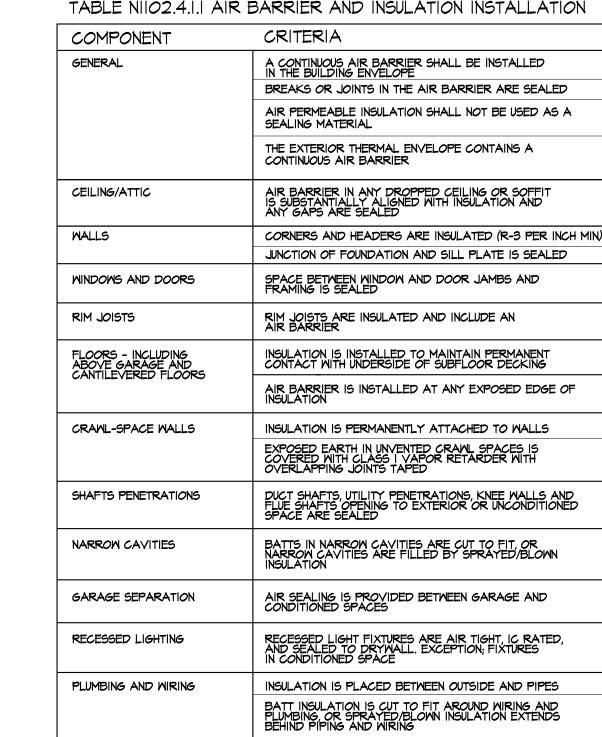
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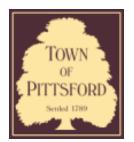
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JOB NO.: 18M3804 SHEET:







Town of Pittsford

Department of Public Works 11 South Main Street Pittsford, New York 14534

Permit # B24-000067

Phone: 585-248-6250 FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 39 Rosewood Drive PITTSFORD, NY 14534

Tax ID Number: 178.20-2-3

Zoning District: RN Residential Neighborhood

Owner: Shaffer, William R
Applicant: Shaffer, William R

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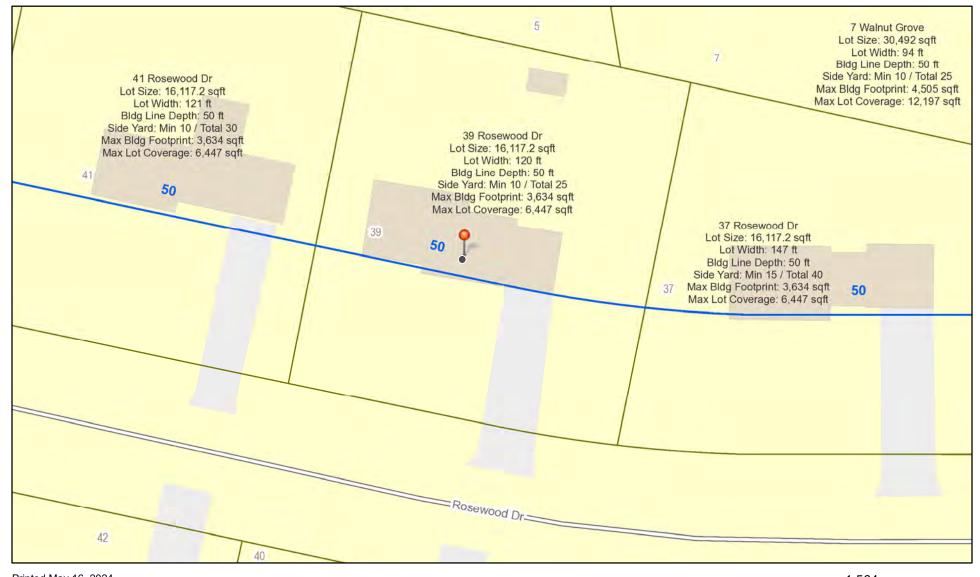
-1-1	
Residential Design Review §185-205 (B)	Build to Line Adjustment §185-17 (B) (2)
Commercial Design Review §185-205 (B)	Building Height Above 30 Feet §185-17 (M)
Signage §185-205 (C)	Corner Lot Orientation §185-17 (K) (3)
Certificate of Appropriateness §185-197	Flag Lot Building Line Location §185-17 (L) (1) (c)
Landmark Designation §185-195 (2)	Undeveloped Flag Lot Requirements §185-17 (L) (2)
Informal Review	

Project Description: Applicant is requesting design review for a 439-square-foot, two-story addition off the back of the home.

Meeting Date: May 23, 2024



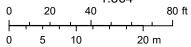
RN Residential Neighborhood Zoning



Printed May 16, 2024

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Town of Pittsford GIS



STREET

LINE

WE, O'NEILL-RODAK LAND SURVEYING ASSOCIATES, P.C., CERTIFY TO ABN AMRO MORTGAGE GROUP, INC., ITS SUCCESSORS AND/OR ASSIGNS; WILLIAM R. SHAFFER; PANZARELLA & COIA; FIRST AMERICAN TITLE INSURANCE COMPANY OF NEW YORK AND LEELAND T. WILLIAMS, ESQ. THAT THIS MAP WAS PREPARED FROM NOTES OF AN INSTRUMENT SURVEY COMPLETED APRIL 12, 2007. MICHAEL D. O'NEILL, P.L.S. #049662 WOOD FENCE N 68°23'18" 0.76 119.80 WOOD FENCE 0.96 Ē 20' WIDE STORM DRAINAGE EASEMENT L 3580 DP 481 24 (72) 130.65 (70) 71 21.36 21.36'24" 134.26 WOOD , FENCE × 0.45 × 14.76 34.89 21.08 2 STORY FRAME #39 GARAGE) 13.90 34.23 15.54 CONC. 50' MINIMUM SETBACK 52.08 52.12 54.05 L=58 33' LAND R=470.00° ∆=07°06′38′ POINT OF

ROSEWOOD

61.62'

S 68°23'18"

CURVE

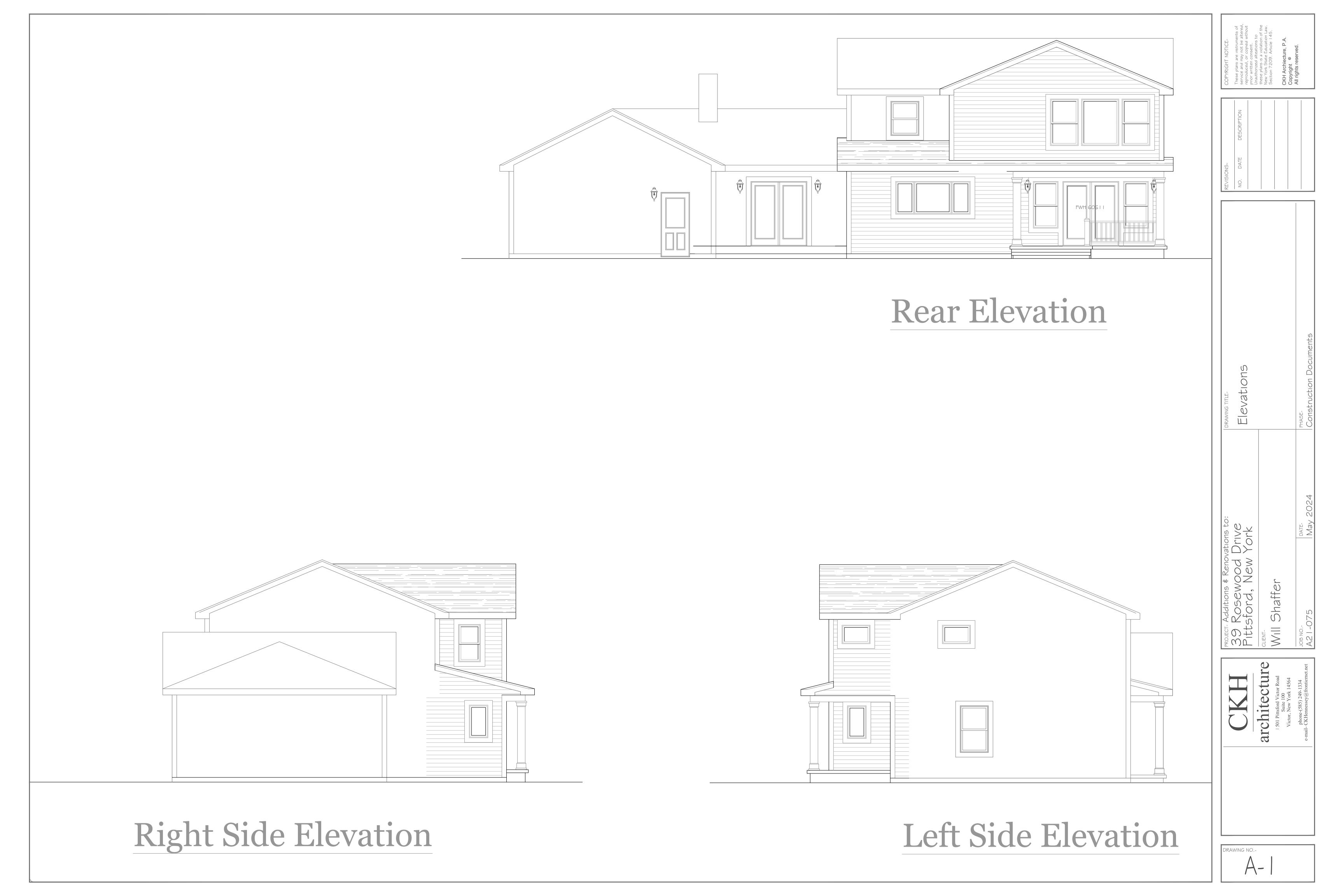
"Unauthorized alteration of, or addition to, this survey map is a violation of section 7209 of the New York State Education Law"

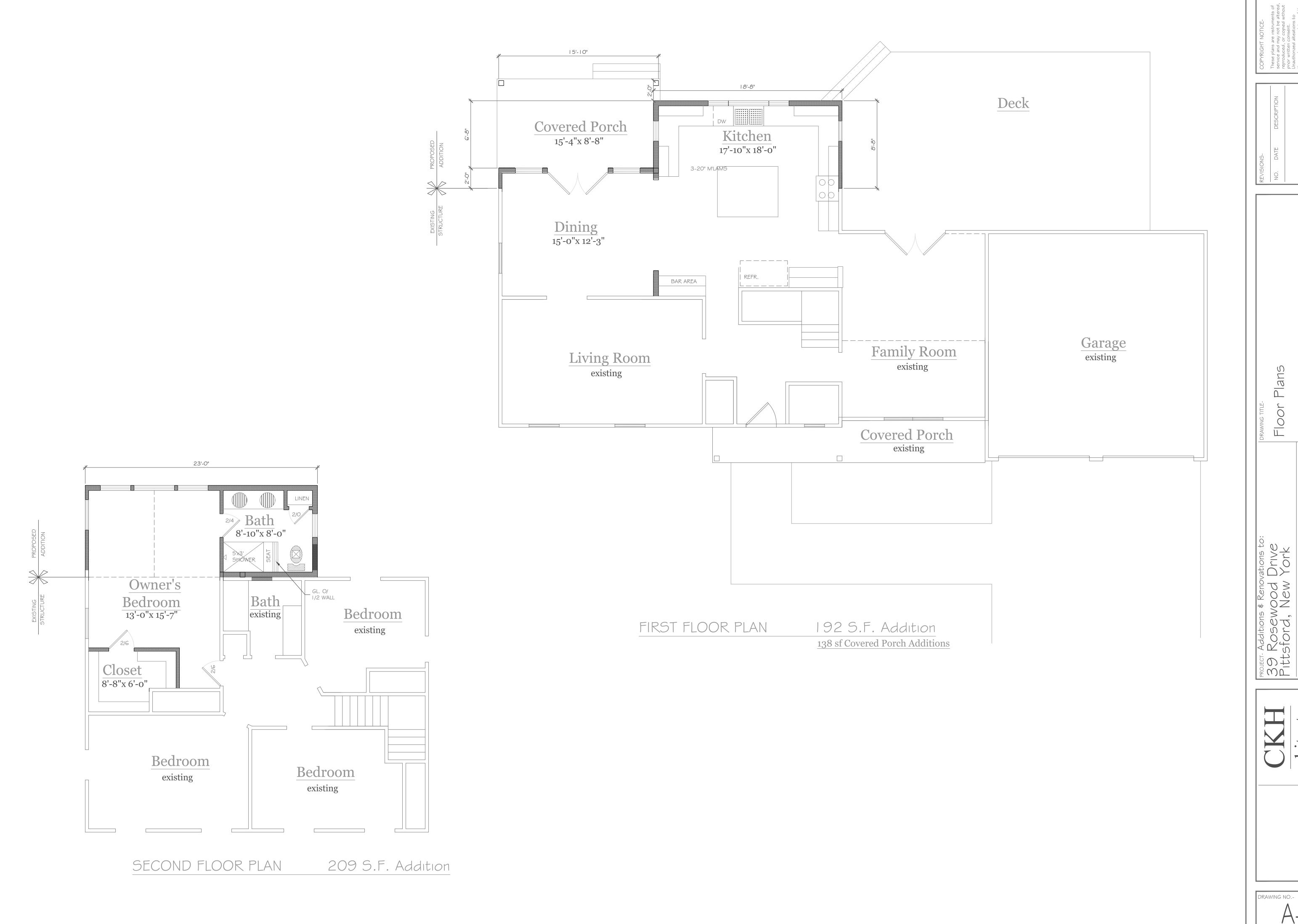
Copies of this survey map not bearing the land surveyor's inked or embossed seal shall not be considered to be a valid true copy.

"Guarantees or certifications indicated hereon shall run only to the person for whom the survey is prepared, and on his behalf to the title company, governmental agency and lending institution listed hereon, and to the assignees of the lending institution.

Guarantees or certifications are not transferable to the institutions or subsequent owners"

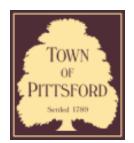
40 20' TO POINT OF CURVE





PROJECT- Additions & Renovations to:
39 Rosewood Drive
Pittsford, New York

CLIENT
WIII Shaffer



Department of Public Works 11 South Main Street Pittsford, New York 14534

Permit # B24-00069

Phone: 585-248-6250 FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 16 Elatia Circle PITTSFORD, NY 14534

Tax ID Number: 192.02-1-28

Zoning District: RN Residential Neighborhood

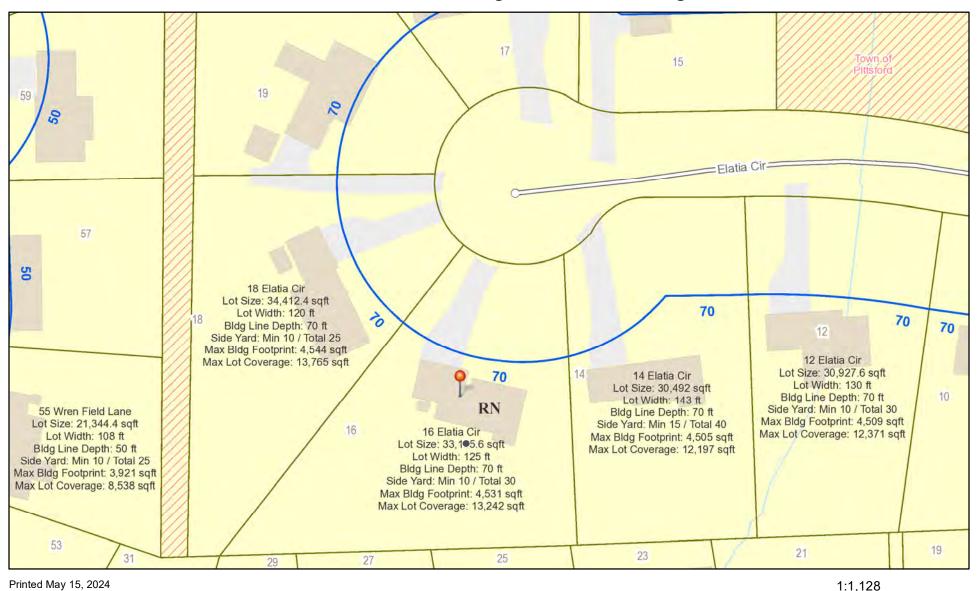
Owner: Bertram, Aaron R
Applicant: Bertram, Aaron R

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	Residential Design Review		Build to Line Adjustment
/	§185-205 (B)		§185-17 (B) (2)
	Commercial Design Review		Building Height Above 30 Feet §185-17 (M)
	• , ,	§185-205 (B)	
	Signage		Corner Lot Orientation
	§185-205 (C)		§185-17 (K) (3)
	Certificate of Appropriateness		Flag Lot Building Line Location
	§185-197		§185-17 (L) (1) (c)
	Landmark Designation		Undeveloped Flag Lot Requirements
	§185-195 (2)		§185-17 (L) (2)
	Informal Review		

Project Description: Applicant is requesting design review for a 400-square-foot covered deck addition on the back of the home.





Town of Pittsford GIS

180 ft

50 m

45

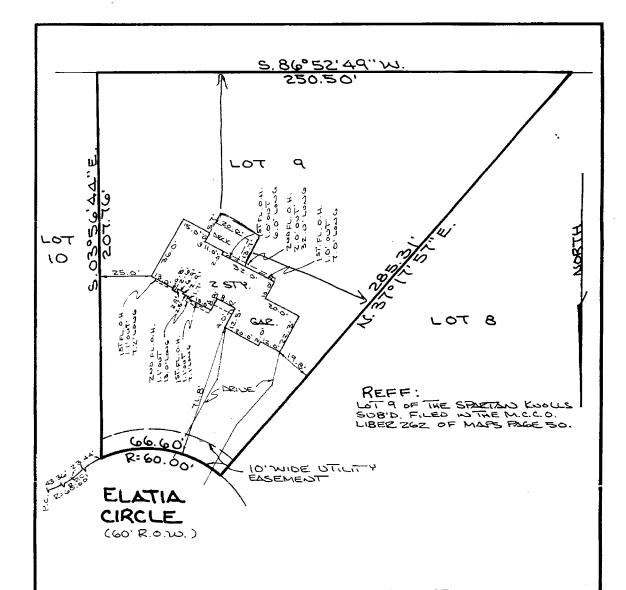
12.5

25









MAP OF AN INSTRUMENT SURVEY OF:

SUBDIVISION KNOLLS .OT 9 ☞ ™E SPARTAN

SITUATE IN:

TOWN OF PITTSFORD MONROE COUNTY DATE: SEPTEMBER 14, 1993

NEW YORK SCALE: 1" = 40'



400 Whitney Road P.O. Box C Penfield, New York 14526

(716) 586-0200 PAX (716) 586-6752

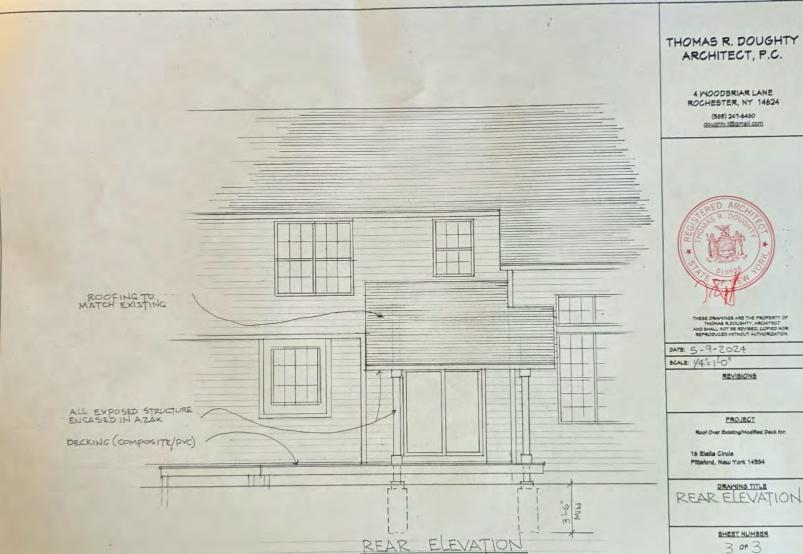
ANY UNAUTHORIZED ALTERATION OR ADDITION TO THIS MAP IS A VIOLATION OF ARTICLE 145, SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW.

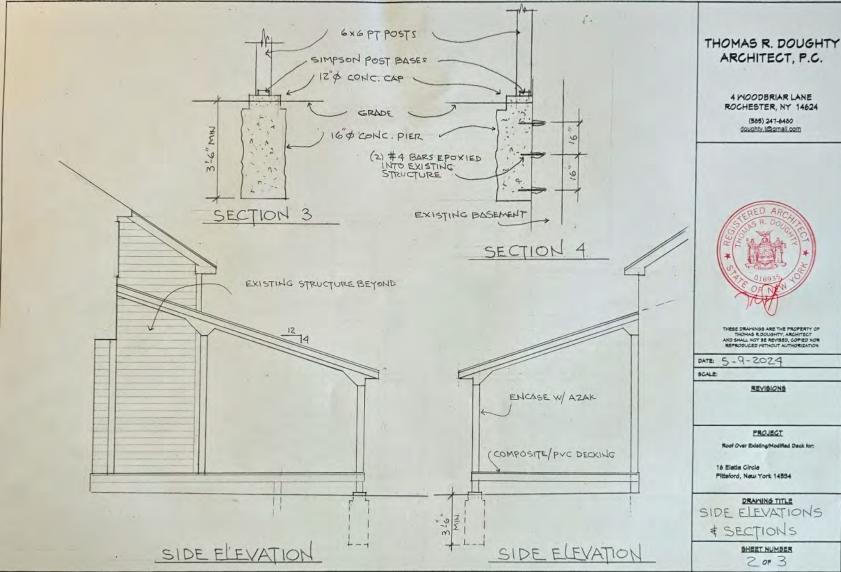
WE, D.J. PARRONE & ASSOCIATES, P.C., HEREBY CERTIFY THAT THIS MAP WAS PREPARED FROM NOTES OF AN INSTRUMENT SURVEY COMPLETED ON SEPTEMBER 7, 1993. IT IS FILETHER CERTIFIED TO GE CAPITAL MOSTEGAGE CERTIFIED TO GE CAPITAL MOSTEGAGE CERTIFIED TO GE CAPITAL MOSTEGAGE CONTAINS INSCIPLING THIS MOSTEGAGE; FORESTH, HOWE, O'DWYER? KALE, P.C.; SINIED NEW YORK ON THE THIS MAP WAS PREPARED ON THE THIS MAP WAS PREPARED TO GIZAMINE VALUE ON MALKER.

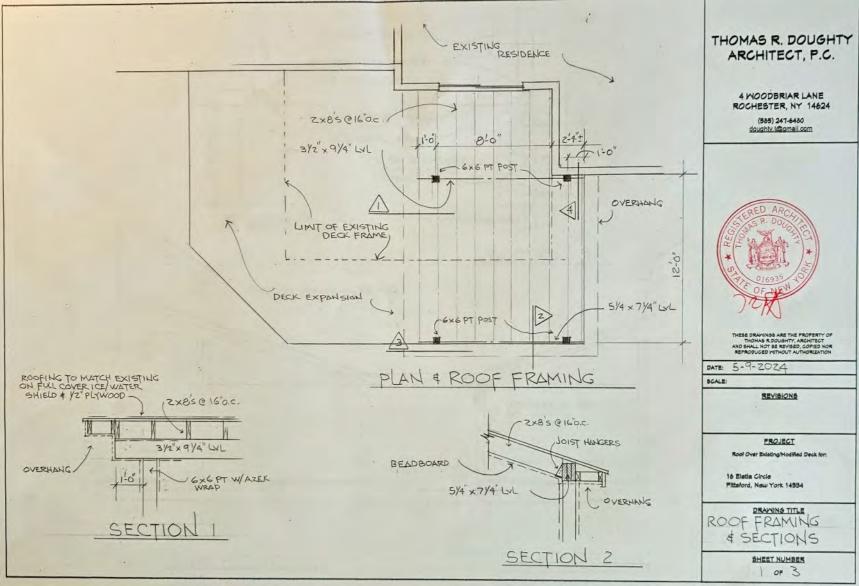


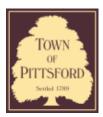


DPD-3D









Department of Public Works 11 South Main Street Pittsford, New York 14534

Permit # B24-000070

Phone: 585-248-6250 FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property	Addres	s: 5 Hillto	p Drive	PITTSFORD, NY 14534	
		10111			

Tax ID Number: 164.14-2-1

Zoning District: RN Residential Neighborhood

Owner: Ploof, Lyndsey M Applicant: Ploof, Lyndsey M

App	lication	Type:
	D : -I	4: - I D

	Residential Design Review		Build to Line Adjustment
✓	§185-205 (B)		§185-17 (B) (2)
	Commercial Design Review		Building Height Above 30 Feet
	§185-205 (B)		§185-17 (M)
	Signage		Corner Lot Orientation
	§185-205 (C)		§185-17 (K) (3)
	Certificate of Appropriateness		Flag Lot Building Line Location
	§185-197		§185-17 (L) (1) (c)
	Landmark Designation		Undeveloped Flag Lot Requirements
	§185-195 (2)		§185-17 (L) (2)
	Informal Review		

Project Description: Applicant is requesting design review for a 90-square-foot addition to the back of the home.





Town of Pittsford GIS

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.

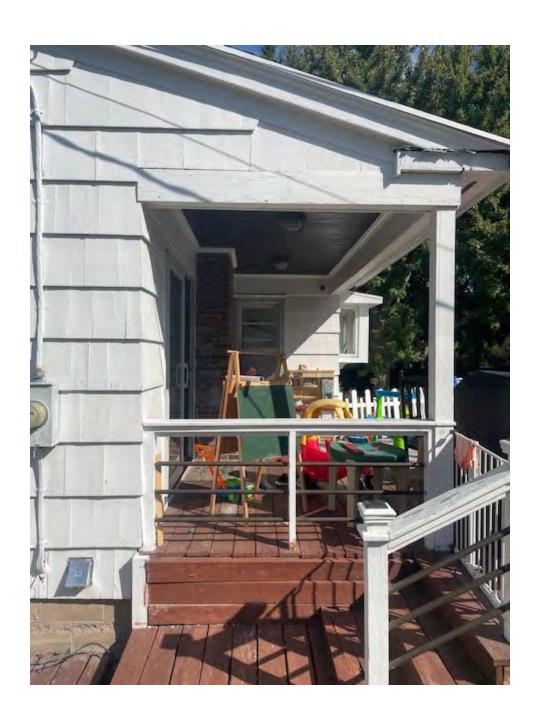
50 m

25

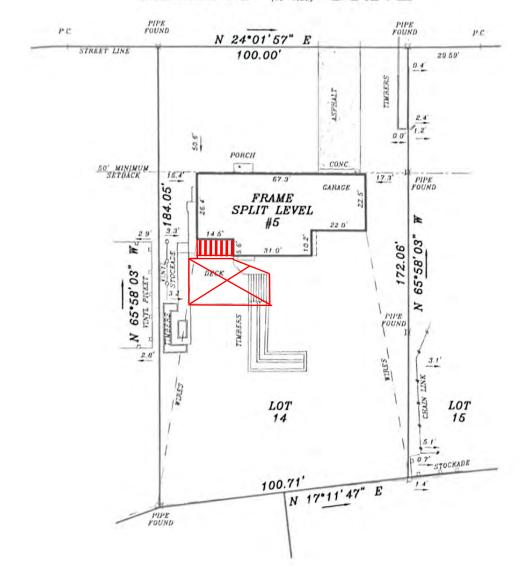
12.5







HILLTOP (60' WIDE) DRIVE







REFERENCES:

CHICAGO TITLE INSURANCE COMPANY #2016-1316SCH DATED APRIL 9, 2020 LIBER 7805 OF DEEDS, PAGE 185 LIBER 140 OF MAPS, PAGE 96

NOTES:

PARCEL IS SUBJECT TO AN EASEMENT GRANTED TO ROCH. GAS & ELEC. CORP. AND ROCH. TELEPHONE CORP. FOR FIXTURES AS SET FORTH IN LIBER 3193 OF DEEDS, PAGE 87.

PARCEL TAX ID #164.14-2-1

WE, O'NEILL-RODAK LAND SURVEYING ASSOCIATES, P.C., CERTIFY TO FIVE STAR BANK, N.A., ITS SUCCESSORS AND/OR ASSIGNS; DAVID M. PLOOF; LYNDSEY M. PLOOF; MAZZARELLA LAW PLLC; FIRST AMERICAN TITLE INSURANCE COMPANY AND GALLO & IACOVANGELO, LLP THAT THIS MAP WAS PREPARED FROM NOTES OF AN INSTRUMENT SURVEY COMPLETED APRIL 28. 2020.

"Unauthorized alteration of, or addition to, this survey map is a violation of section 7209 of the New York State Education Law" Copies of this survey map not bearing the land surveyor's inked or embossed seal shall not be considered to be a valid true copy. "Guarantees or certifications indicated hereon shall run only to the person for whom the survey is prepared, and on his behalf to the title company. governmental agency and lending institution listed hereon, and to the assignees of the lending institution. Guarantees or certifications are not transferable to the institutions or subsequent owners."



MAP OF A SURVEY

LOT 14 PITTSFORD HEIGHTS SUBDIVISION, SECTION 1

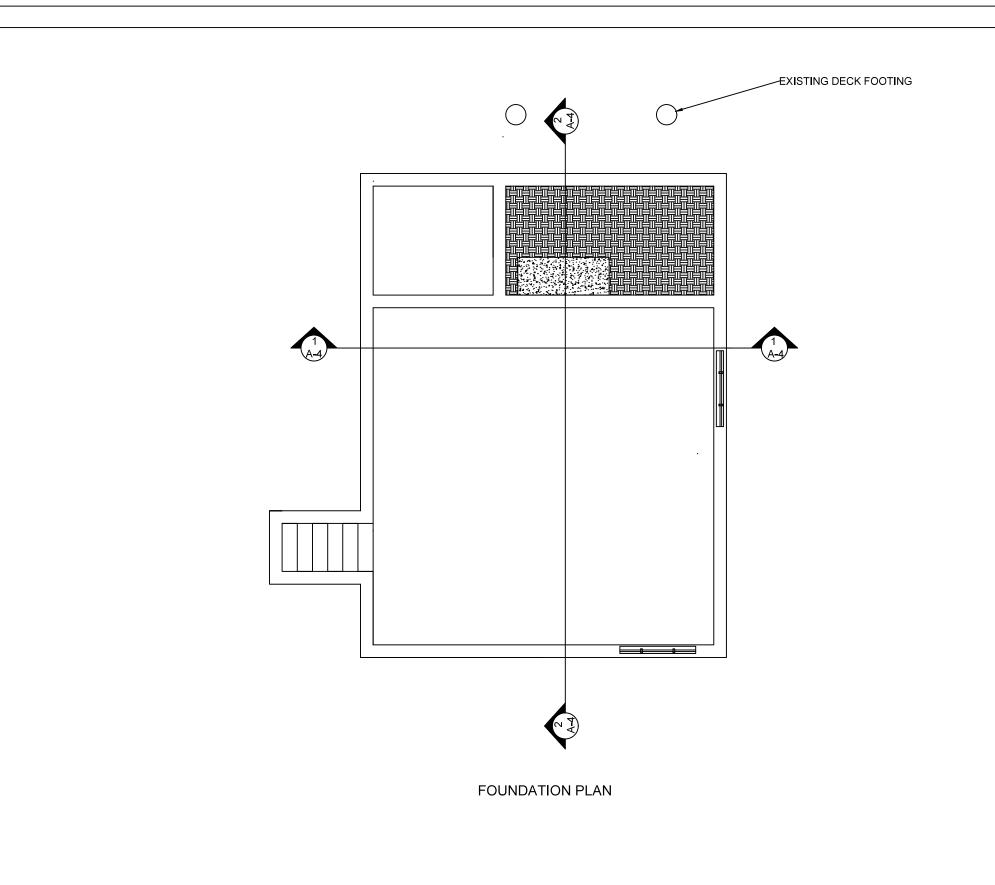
TOWN OF PITTSFORD

MONROE COUNTY, NEW YORK

5 SOUTH FITZHUGH STREET ROCHESTER, NY 14614

PHONE (585) 325-7520 FAX (585) 325-1708 e-mail surveyors@oneillrodak.com

CLIENT	GORDON AND SCHAAL, LLP	
SCALE	DATE	PROJECT NO.
1" = 30'	05/04/2020	94-0608-1



General Notes

- Ceneral Notes

 1. ALL STRUCTURAL WORK SHALL
 BE PERFORMED TO NY BUILDING
 CODE LATEST EDITION AT TIME
 OF PERMIT ISSUANCE

 2. ALL ELECTRICAL WORK SHALL
 BE DONE TO NATIONAL
 ELECTRIC CODE LATEST
 EDITION AT TIME OF PERMIT
 ISSUANCE
- EDITION AT TIME OF PERMIT ISSUANCE

 3. 4. ALL NEW FRAMING LUMBER SHALL BE #2 WHITE PINE OR BETTER

 4. TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT, THESE DRAWINGS COMPLY WITH THE 2018 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE

0	PERMIT APPLICATION	5/15/24
No.	Revision/Issue	Date

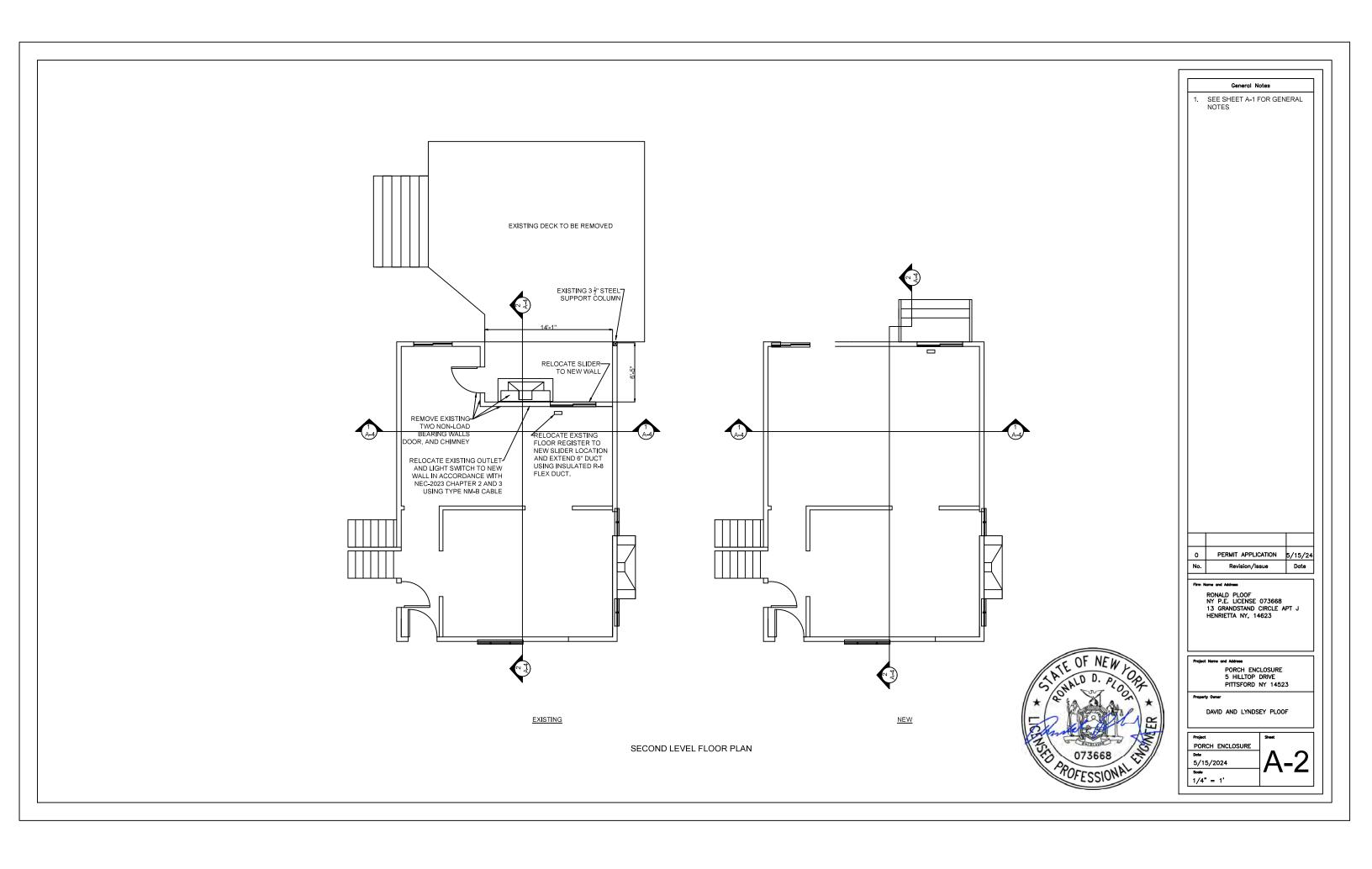
Firm Name and Address

RONALD PLOOF P.E. NY P.E. LICENSE 073668 13 GRANDSTAND CIRCLE APT J HENRIETTA NY, 14623

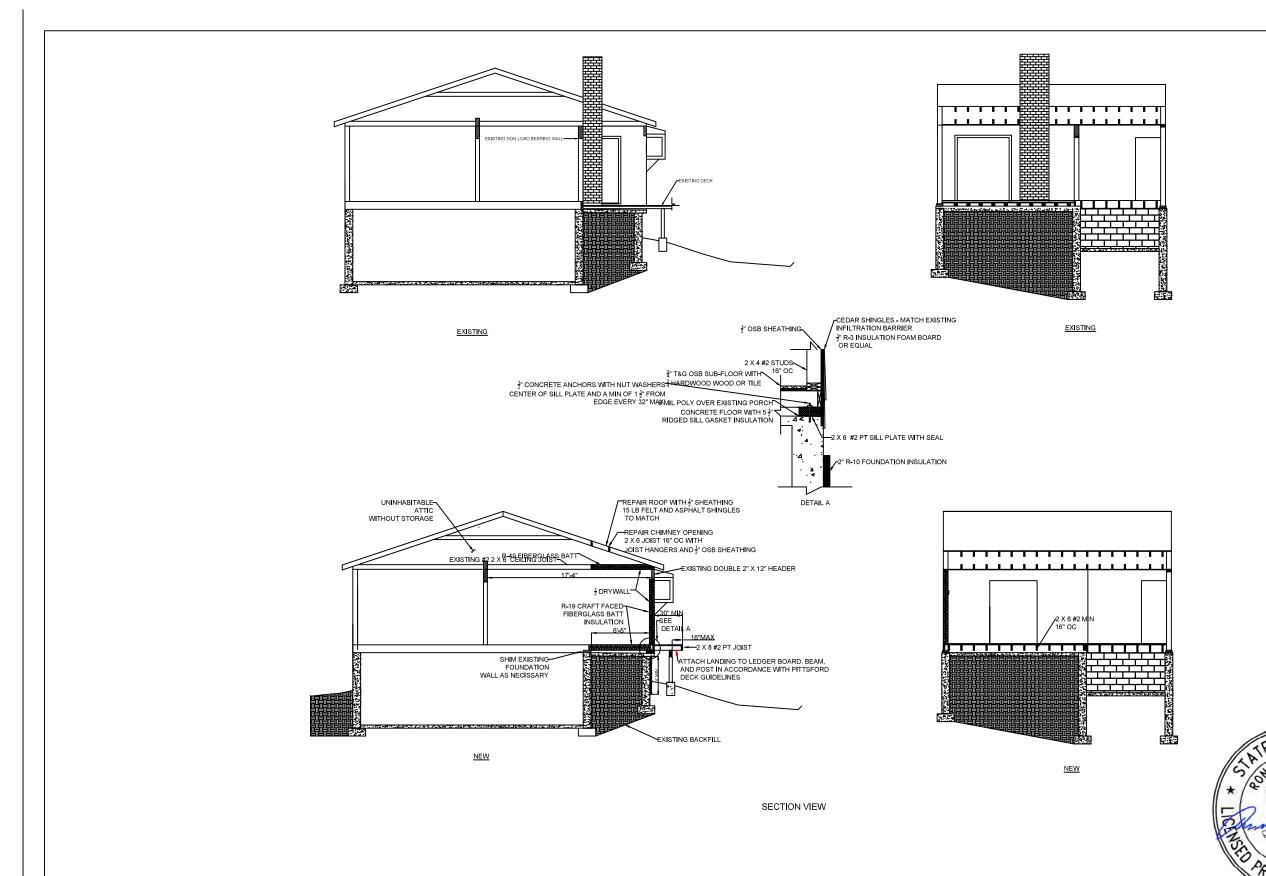
PORCH ENCLOSURE 5 HILLTOP DRIVE PITTSFORD NY 14523

DAVID AND LYNDSEY PLOOF

Project	Sheet
PORCH ENCLOSURE	
Date] A _
5/15/2024	A
Scale] / \
1/4" = 1'	1







SEE SHEET A-1 FOR GENERAL NOTES

0 PERMIT APPLICATION 5/15/24

No. Revision/Issue Date

Firm Name and Add

RONALD PLOOF P.E. NY P.E. LICENSE 073668 13 GRANDSTAND CIRCLE APT J HENRIETTA NY, 14623

Project Name and Add

PORCH ENCLOSURE 5 HILLTOP DRIVE PITTSFORD NY 14523

ly Owner

DAVID AND LYNDSEY PLOOF

Project
PORCH ENCLOSURE
Date
5/15/2024
Soute
1/4" = 1'



Department of Public Works 11 South Main Street Pittsford, New York 14534

Permit # B24-000071

Phone: 585-248-6250 FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 10 Reitz PITTSFORD, NY 14534

Tax ID Number: 164.10-2-3

Zoning District: RN Residential Neighborhood

Owner: West, Stephen J

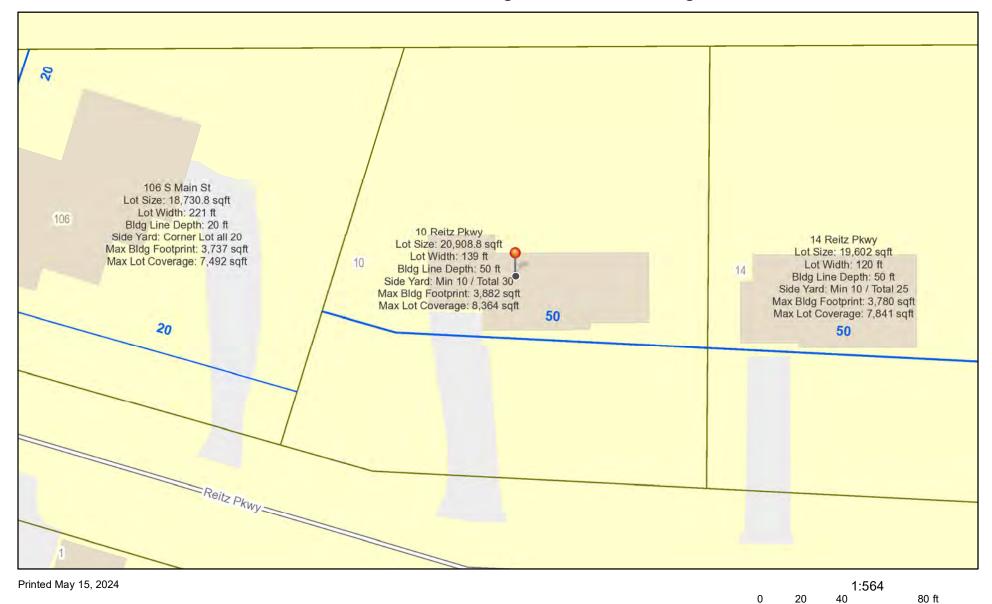
Applicant: Cahoon Building Co.

Application Type	е	
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-1-1-		
✓	Residential Design Review §185-205 (B)	Build to Line Adjustment §185-17 (B) (2)
	Commercial Design Review §185-205 (B)	Building Height Above 30 Feet §185-17 (M)
	Signage §185-205 (C)	Corner Lot Orientation §185-17 (K) (3)
	Certificate of Appropriateness §185-197	Flag Lot Building Line Location §185-17 (L) (1) (c)
	Landmark Designation §185-195 (2)	Undeveloped Flag Lot Requirements §185-17 (L) (2)
	Informal Review	

Project Description: Applicant is requesting design review for approximately 300 square feet of additions to the second floor and rear of the home.





Town of Pittsford GIS

10

The information depicted on this map is representational and should be used for general reference purposes only. No warranties, expressed or implied, are provided for the data or its use or interpretation.

20 m



PROJECT INFORMATION

OWNER(S): KARLEEN & STEPHEN WEST ADDRESS: 10 REITZ PARKWAY, ROCHESTER, NY 14534 EMAIL: stephen.west.future@gmail.com, karleenalice@gmail.com

TOWN: PITTSFORD COUNTY: MONROE

ZONING CODE

ZONING: RN
FRONT SETBACK: AVERAGE, PER TOWN
SIDE SETBACK: 25' TOTAL (10' MIN EA. SIDE)
REAR BUFFER: 20'
HEIGHT LIMIT: 30'
MAX. FOOTPRINT: 3,800 SF + (0.09 x 996) = 3,890 S.F.
MAX. LOT COVERAGE: 40%

SCOPE OF WORK:

This project consists of a 248 S.F. first floor rear addition to include an enlarged kitchen and new mudroom/laundry, and a 87 S.F. second floor primary bathroom addition over existing first floor area. This remodeling project will convert this 4-bedroom/2-bathroom home into a 3-bedroom/3-bathroom home. Exterior additions are to match in style the existing midcentury home, with roofing to match existing and natural wood siding as an accent material.

AREA CALCS:

FOOTPRINT (BUILDING COVERAGE):

1,926 S.F. Existing Footprint (inc. overhangs)
260 S.F. Proposed Addition Footprint (inc. overhangs)
2,186 S.F. Proposed Building Coverage
Lot Area: 20,996 S.F.
Proposed Building Coverage: 10.4%

LOT COVERAGE:

2,186 S.F. House Footprint (inc. overhangs) 1,074 S.F. Asphalt Driveway 390 S.F. (+/-) Walkways & Patio 42 S.F. (+/-) Shed

3,692 S.F. Total Proposed Lot Coverage Lot Area: 20,996 S.F. 17.6% Lot Coverage

LIVABLE FLOOR AREA:

Existing:

940 S.F. First Floor Area 617 S.F. Second Floor Area 1,557 S.F. Total Existing Livable Floor Area

Proposed:

1,172 S.F. First Floor Area (with 232 S.F. LFA Addition) 689 S.F. Second Floor Area (with 72 S.F. LFA Addition)

1,861 S.F. Total Proposed Livable Floor Area

ABBREVIATIONS:

(N) = NEW(E) = EXISTING (R) = REPLACE EXISTING PL = PROPERTY LINE TYP. = TYPICAL S.S.D. = SEE STRUCTURAL DRAWINGS V.I.F. = VERIFY IN FIELD V.W.O. = VERIFY WITH OWNER T.B.D = TO BE DETERMINED G.W.B. = GYPSUM WALL BOARD F.O.S. = FACE OF STUD F.O.F. = FACE OF FINISH RS = ROUGH SAWN RWL = RAIN WATER LEADER PTGR = PAINT GRADE O.C. = ON CENTER F.F. = FINISHED FLOOR A.F.F. = ABOVE FINISHED FLOOR FG = FINISHED GRADE HT = HFAVY TIMBER CANT. = CANTILEVERED STD - STANDARD

PL = PLATE

THK = THICK

VERT = VERTICAL

CMU = CONCRETE MASONRY UNIT SH = SILL HEIGHT HH = HEAD HEIGHT CH = CEILING HEIGHT WH = WALL HEIGHT EXT. = EXTERIOR TBD = TO BE DETERMINED H.F. = HEM FIRICF = INSULATED CONCRETE FORMS U.O.N. = UNLESS OTHERWISE NOTED STL = STEEL COL = COLUMN CONC. = CONCRETE W/ = WITHW/O = WITHOUT W/I = WITHINEA. = EACHT.O.B. = TOP OF BEAM REQ'D = REQUIRED MANUF = MANUFACTURE CONN. = CONNECTOR DIA = DIAMETER FTG = FOOTING MIN = MINIMUM

MAX = MAXIMUM

GENERAL NOTES:

1. Code references included in this document refer to the 2020 Residential Code of New York State.

2. Existing spaces, rooms, exits and building systems that were not altered as part of this project

3. All electrical work shall comply with Appendix J of the 2020 Residential Code of New York State. Provide building department with final electrical inspection approval.

4. All plumbing shall be installed by a locally licensed plumber or the homeowner. Work shall comply with Appendix J of the 2020 Residential Code of New York State.

5. Owner to provide a statement from the heating contractor indicating that the existing furnace has the capacity to heat the addition.

6. Smoke detectors shall be installed as required by Appendix J of the 2020 Residential Code of New York State in the following locations: - In each sleeping room; - In hallways adjacent to sleeping rooms; - At least one on each story including basement. Where wall and/or ceiling finishes are removed to expose the structure, detectors shall be hard-wired. Other detectors may be battery operated. Hard-wired detectors shall be interconnected such that if one activates, all will activate. Detectors shall be listed and installed in accordance with NFPA-72 and Appendix J of the Residential Code. Listed combination smoke/carbon monoxide alarm may be used in lieu of smoke alarms.

7. Carbon monoxide alarms shall be installed as required by Section 915 of the 2020 Fire Code of NYS in the following locations: - In any room containing a fuel burning appliance and within 10 feet of any sleeping area. - On any story where fuel-fired appliances or equipment, solid-fuel burning appliances and equipment, fireplaces or attached garages are located. Where wall and/or ceiling finishes are removed to expose the structure, alarms shall be hard-wired. Other alarms may be battery operated. Hard-wired alarms shall be interconnected such that if one activates, all will activate. Alarms shall be listed and labeled in accordance with UL 2034. Combination carbon monoxide and smoke alarms shall be listed in accordance with UL 2034 and UL 217 and shall be installed in accordance with manufacturer's instructions.

8. Foam plastic insulation on basement (and crawl space) walls shall be covered with gypsum board or have a flame-spread index not greater than 75 with an accompanying smoke-developed index not to exceed 450 when tested in accordance with ASTM 84.

9. Flashing is required in the following locations: at wall and roof intersections and projecting wood trim, top of all exterior windows and door openings; chimneys; under and at ends of masonry, wood or metal copings and sills; and where exterior porches, decks or stairs attach to a wall or floor assembly of wood-frame construction. Flashings shall be provided as required to comply with all of Section R703.4 of the 2020 Residential Code of New York State.

10. Where roof slope is from 2 in 12 to 4 in 12, TWO layers of underlayment shall be applied in accordance with Section R905.1.1 of the 2020 Residential Code.

11. Where existing windows and/or doors are removed, the infill construction shall be fully insulated with insulation having a minimum R value of R-3 per inch.

12. To provide compliance with the 2020 Code, the installed insulation values shall meet or exceed the values shown in the REScheck provided for this project.

13. The addition envelope air tightness and insulation installation shall be demonstrated to comply with Section R502 of the 2020 Energy Conservation Code.

14. Duct insulation and duct tightness shall be demonstrated to comply with Section R403.3 of the 2020 Energy Conservation Code.

15. Clothes dryers shall be exhausted in accordance with the manufacturer's instructions. Dryer exhaust systems shall be independent of all other systems and shall convey the moisture and any products of combustion to the outside of the building. The maximum length of a clothes dryer exhaust duct shall not exceed 35 feet from the dryer location to the outlet terminal. The maximum length of the duct shall be reduced for each 45 degree bend and for each 90 degree bend as per Table1502.4.5.1 of the 2015 IRC.

16. Dryer exhaust ducts shall have a smooth interior finish and be constructed of metal having a minimum thickness of 0.0157 inches (No. 28 gage), and shall be 4 inches nominal in diameter. Exhaust ducts shall terminate on the outside of the building as per manufacturer's installation instructions, but not less than 3 feet in any direction from openings into buildings. They shall be secured in place and supported at intervals not to exceed 12 feet.

17. Gas piping shall be installed in accordance with Part VI of the 2020 Residential Code. A shutoff valve shall be provided ahead of every gas appliance or outlet for a gas connection. Valves shall be located in the same room as, and within 6 feet of the appliance, except that valves for vented gas fireplaces, inserts, logs and room heaters may be remote from the appliance where provided with ready access. Such valves shall be permanently identified and serve no other equipment. Shutoff valves shall be installed in accordance with Section G2420 of the Residential Code and shall comply with required standards as indicated in Section G2420.1.1.

18. A gas piping system that contains any corrugated stainless steel tubing (CSST) shall be electrically continuous and shall be bonded to the electrical service grounding electrode system. No portion of the gas piping system shall be used as, or considered to be, a grounding electrode or a grounding electrode conductor. CSST shall be installed and bonded in accordance with Section 2411.2 of the 2020 Residential Code of NYS and the stricter of: (a) the requirements set forth in the CSST manufacturer's installation instructions, or (b) the requirements set forth in §RG2411, and §RG2415.7.

19. CSST shall not be supported on or by other electrically conductive systems including copper water pipe, electric power cables, air conditioning and heating ducts, communication cables and structural steel beams. Electrical wiring, including the bonding jumper, shall be supported and secured independently of the CJ-CSST so that it does not come in contact with the CJ-CSST.

20. All equipment and appliances shall be installed in accordance with the manufacturer's installation instructions and the requirements of the 2020 Residential Code of NYS.

21. All work shall comply with local Codes, New York State Codes, Amendments, Rules, Regulations, Ordinances, Laws, Orders, Approvals, etc. that are required by Governing Authorities. In the event of conflict, the most stringent requirements shall apply.

22. Contractor shall examine and verify conditions of the job site. Any discrepancy between drawings and existing conditions should be recorded in writing and reported to the Architect for resolution prior to commencement of work.
23. All dimensions are face of finish dimensions unless otherwise noted. Notify Architect of any

discrepancies or conflict between architectural drawings, specifications or schedules prior to

subsequent work. Additionally, notify Architect of any discrepancies or conflict between architectural drawings and consultant drawings, specifications or schedules prior to subsequent

Architect will issue approval.

work.

24. Any changes to framing and engineered connections shall be approved by the Architect prior to subsequent work. If the Contractor makes changes without prior authorization from the Architect, the Contractor will be responsible to correct any structural deficiencies before

25. The coordination and documentation of any Special Inspections required by governing authorities is the responsibility of the Contractor. The Contractor must request special inspections by qualified professionals at the appropriate time during the construction process, and document their execution. The Architect will NOT write any Letters of Special Inspection Compliance at the conclusion of the job, without this prior written documentation. In the event that required Special Inspection areas of the Work are "covered" without such documented inspection, the contractor shall provide all labor and materials required to access, inspect and repair such work at his or her own expense.

26. All Change Orders shall be written and shall be approved by Architect and Owner prior to execution of work.

27. All building materials are to be stored appropriately and protected from damage.

28. Owner is responsible for the accuracy of information provided to the Architect by any previous architect(s), engineers, surveyors, designers or other consultants.

29. Contractor must schedule a walkthrough with Architect after rough electrical and rough plumbing but prior to insulating. Additionally, Contractor must schedule a walkthrough with Architect at substantial completion.
30. Contractor shall provide and maintain a job phone on site for the duration of the construction

schedules shall be pre-approved by Owner and/or Architect prior to purchase and installation.

process. Contractor must maintain a copy of the latest version of the plans, specifications, schedules, details and revisions at the job site at all times.

31. Material choices, fixtures, adhesives, and finishes not specified on drawings, specifications, or

32. Contractor to maintain quality and cleanliness of vegetation and grounds throughout construction. Contractor to clean up job site at the end of every working day, isolate construction area from other interior living space, and minimize dust as best as possible.

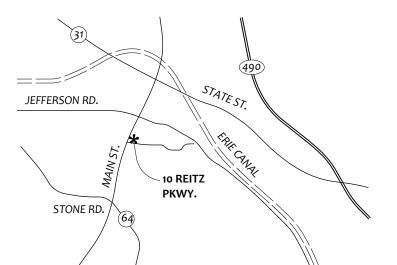
CONSULTANTS

ARCHITECT:

Amanda Everson Costanza, RA, AIA, LEED AP Christopher Costanza, RA, LEED AP 9x30 Design, Architecture, PLLC (585) 242-0501 amanda@9x30.com

STRUCTURAL ENGINEER:

Jason Vigil, PE, SE Jensen/BRV Engineering, PLLC (585) 482-8130 office jasonv@jensenbrv.com



VICINITY MAP

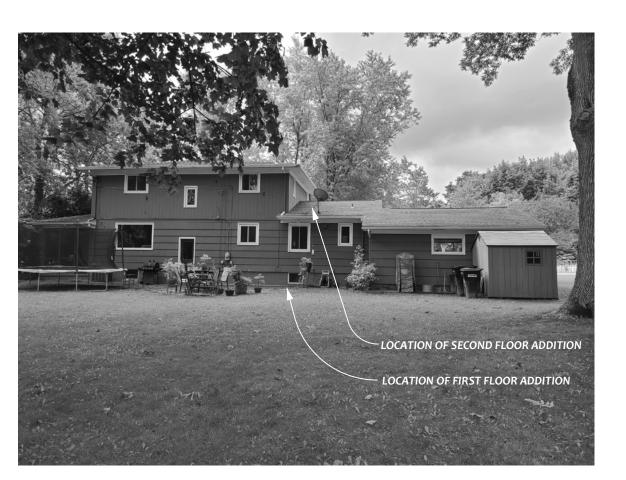
PHOTOS



VIEW FROM FRONT YARD



VIEW FROM DRIVEWAY



VIEW FROM BACK YARD

SHEET INDEX

Ao.o PROJECT INFORMATION & SITE PLAN

A1.0 EXISTING PLANS & ELEVATIONS

A2.0 NEW BASEMENT & FIRST FLOOR PLAN

A2.1 NEW SECOND FLOOR PLAN & ROOF PLAN

A3.0 NEW ELEVATIONS & WINDOW SCHEDULE

A4.0 INTERIOR ELEVATIONS

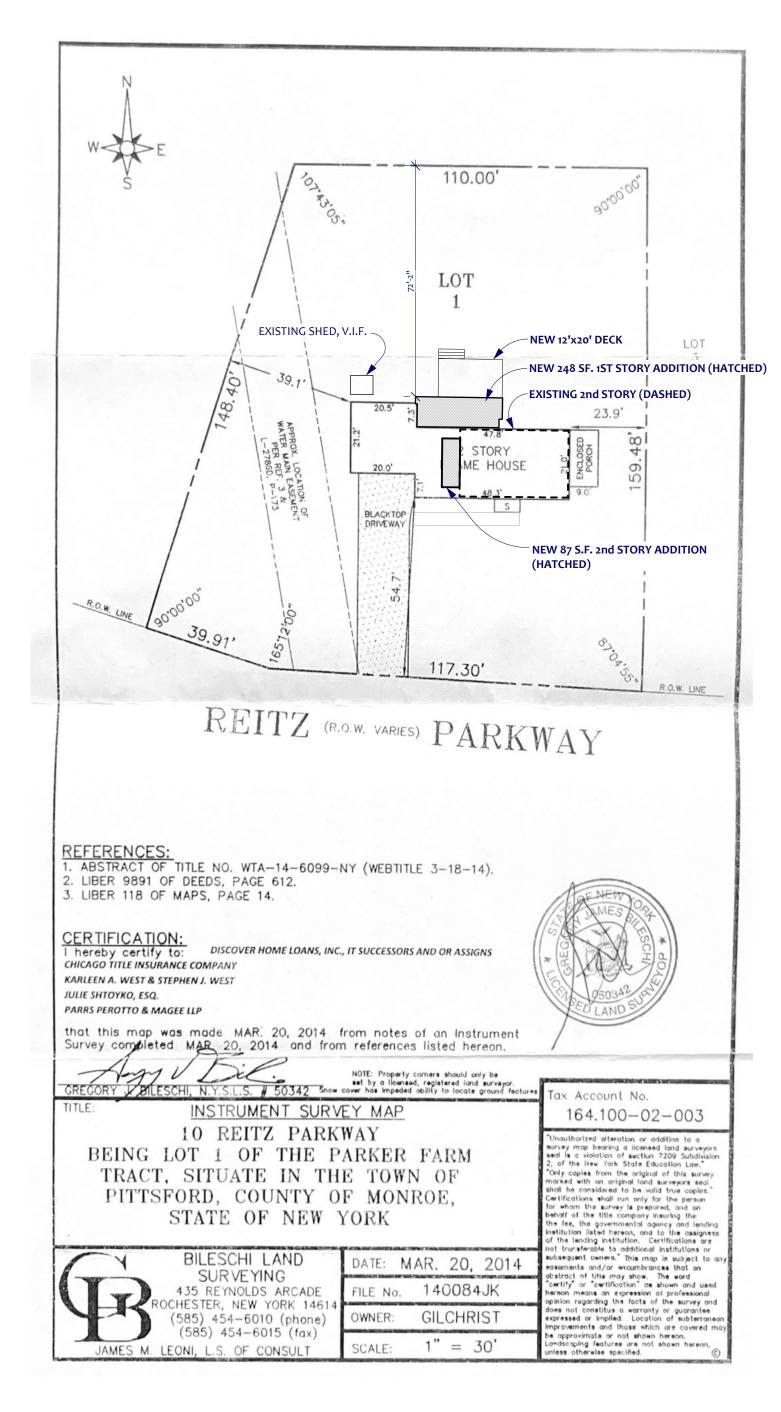
E1.0 ELECTRICAL PLANS

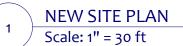
S1.0 FOUNDATION & FLOOR FRAMING PLANS

S2.0 ROOF FRAMING PLAN & WALL SECTIONS

ENERGY CONSERVATION CODE REQUIREMENTS:

Climate Zone: 5
Fenestration U-Factor: 0.30
Skylight U-Factor: 0.55
Ceiling Insulation: R-49
Wood Framed Wall Insulation: R-20, or R-13 + R5ci
Mass Wall Insulation: R-13 (or R-17 when more than 1/2 of insulation is on interior)
Floor Insulation: R-30
Basement Wall Insulation: R-15 Continuous; R-19 Cavity
Concrete Slab Insulation: R-10, depth 2'
Crawl Space Wall Insulation: R-15 Continuous; R-19 Cavity





STERED ARCGINERSON COSTANT

REVISIONS

DATE SIGNED: 5.14.24
LICENSE RENEWAL DATE: 7.31.25
It is a violation of New York State Education Law
Article 145, Section 7209 for any person, unless
acting under the direction of a licensed
architect, professional engineer or leand
surveyor to alter any item on this document in
any way. Any licensed individual who alters this
document is required by law to affix their seal
and the notation "ALTERED BY" followed by
their signature and the date of such alteration,
and a specific description of the alteration.



314 Hollywood Avenue Rochester, NY 14618 (ph) 585.242,0501 info@9x30.com www.9x30.com

NEST RESIDENCE10 REITZ PARKWAY
ITTSFORD, NY 14534

S SITE PLAN

DATE: 5.14.24

SCALE: AS INDICATED

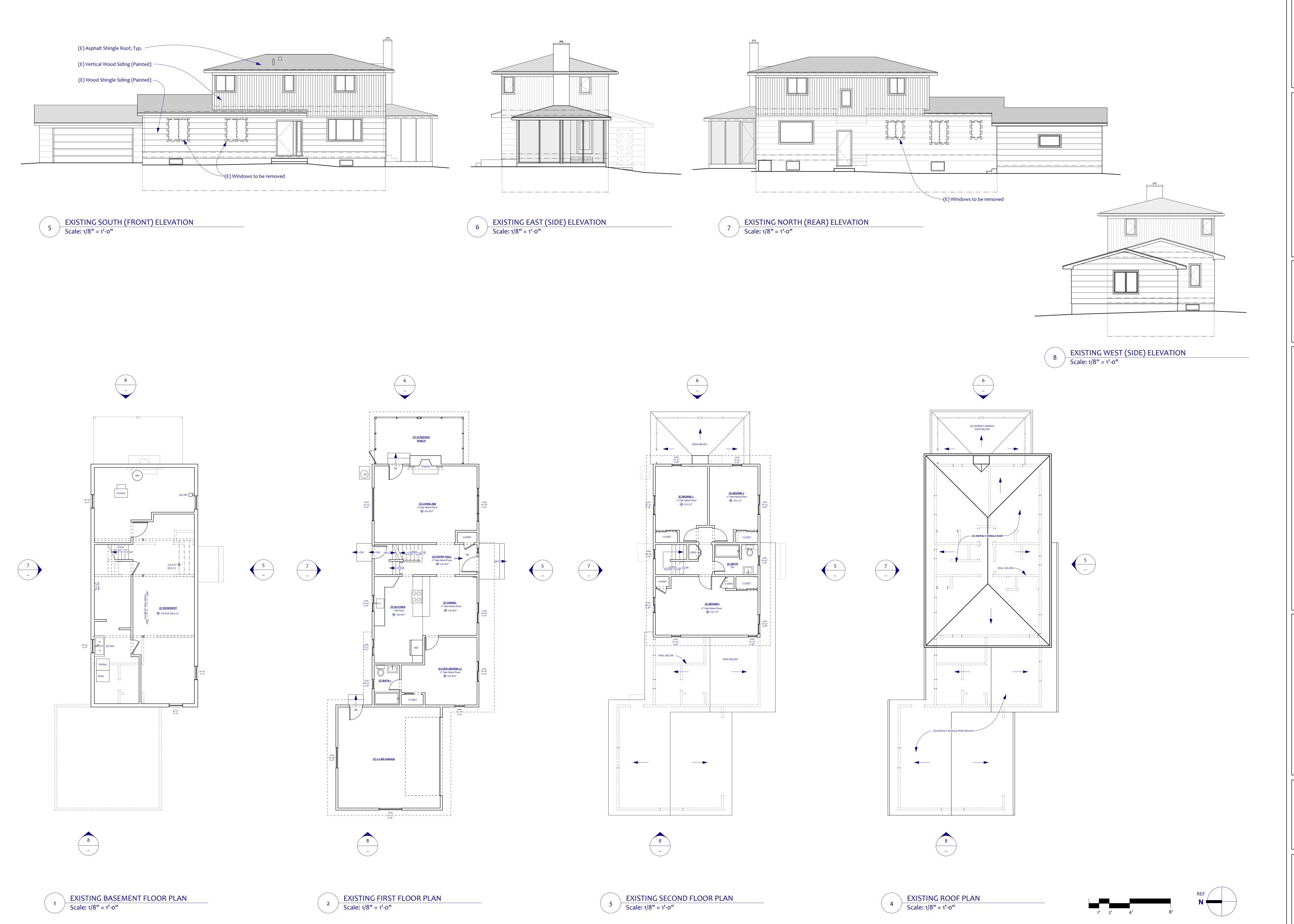
DRAWN BY: AEC

FOR BUILDING PERMIT

Λ - -

WEST

Ao.o



REVISIONS



DATE SIGNED: 5.14.24
LICENSE RENEWAL DATE: 7.31.25
It is a violation of New York State Education Law
Article 145, Section 7209 for any person, unless
acting under the direction of a licensed
architect, professional engineer or leand
surveyor to alter any item on this document in
any way. Any licensed individual who alters this
document is required by law to affix their seal
and the notation "ALTERED BY" followed by
their signature and the date of such alteration,
and a specific description of the alteration.



WEST RESIDENCE
10 REITZ PARKWAY
PITTSFORD, NY 14534

EXISTING PLANS & ELEVATIONS

DATE: 5.14.24

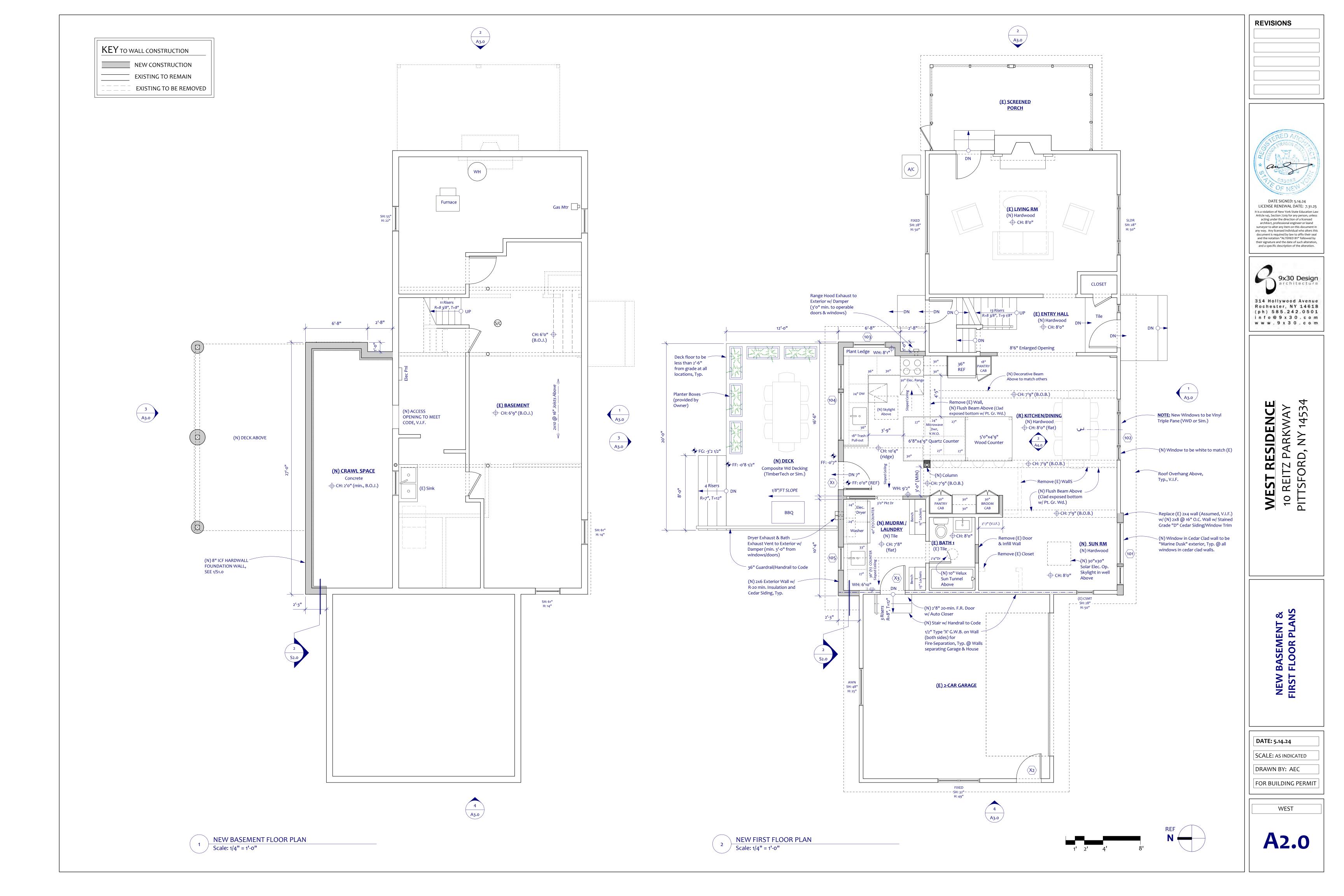
SCALE: AS INDICATED

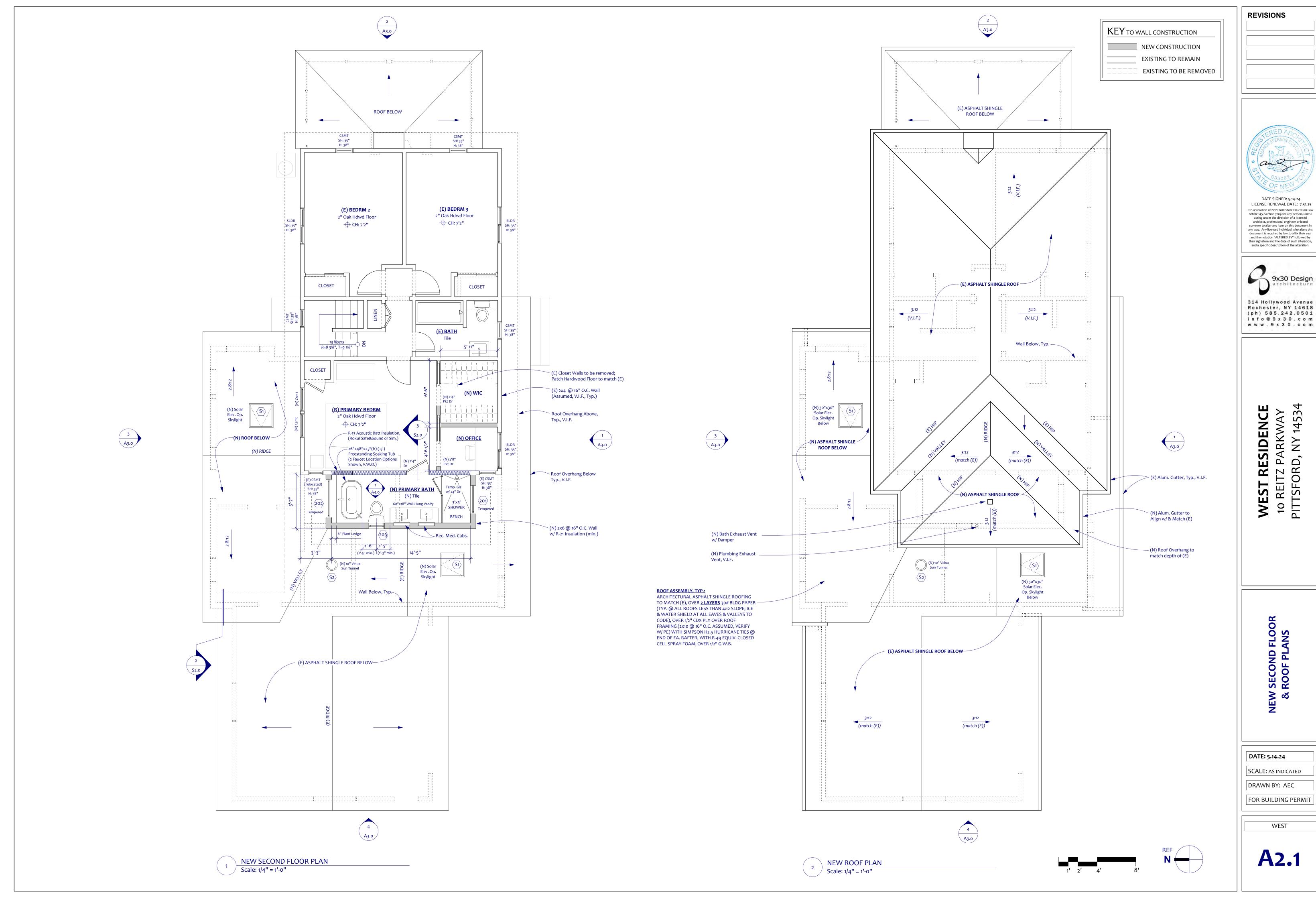
DRAWN BY: AEC

FOR BUILDING PERMIT

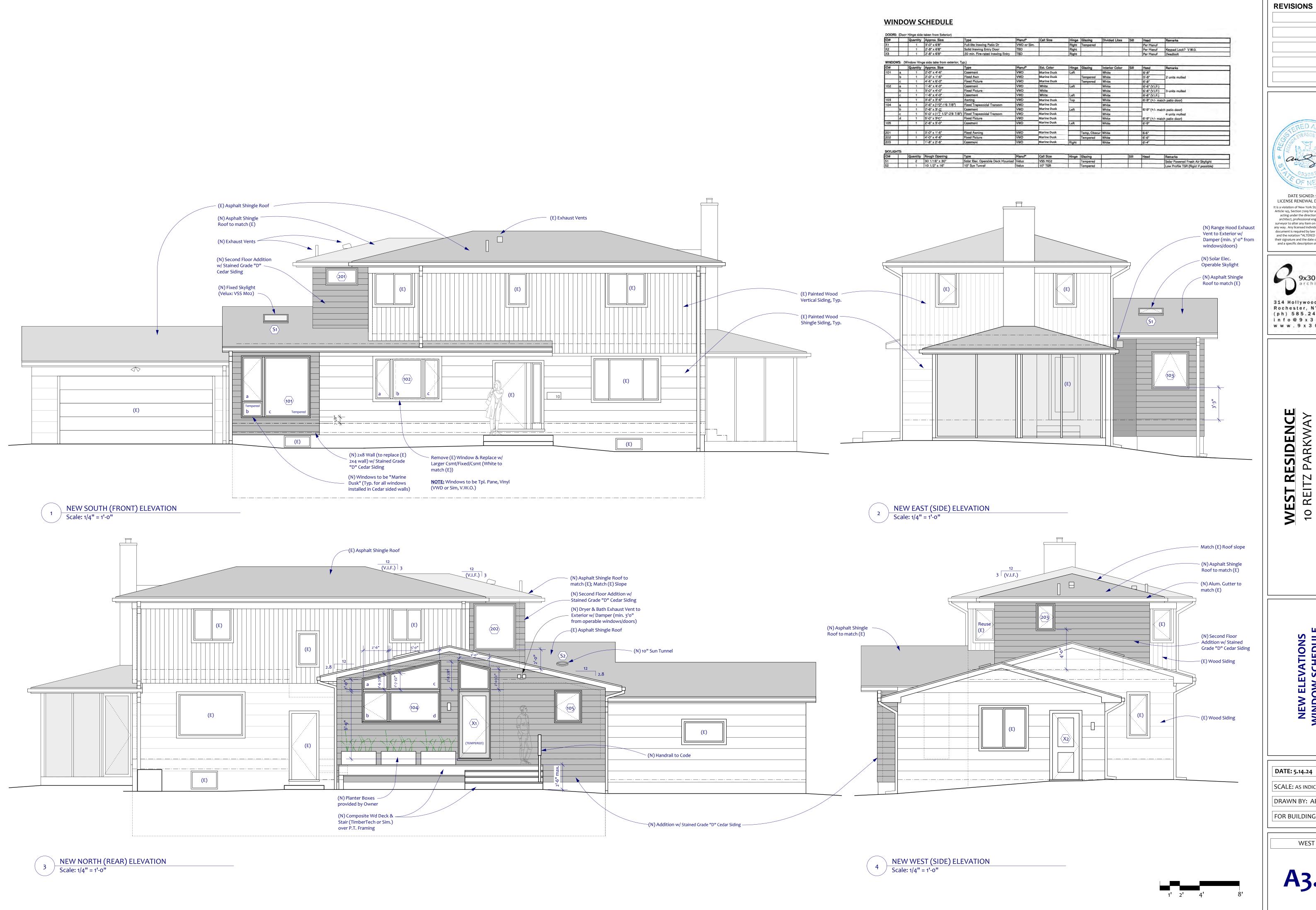
WEST

A1.0





9x30 Design





DATE SIGNED: 5.14.24 LICENSE RENEWAL DATE: 7.31.25 It is a violation of New York State Education Law Article 145, Section 7209 for any person, unless acting under the direction of a licensed architect, professional engineer or leand surveyor to alter any item on this document in any way. Any licensed individual who alters this document is required by law to affix their seal and the notation "ALTERED BY" followed by their signature and the date of such alteration, and a specific description of the alteration.



Rochester, NY 14618 (ph) 585.242.0501 info@9x30.com www.9x30.com

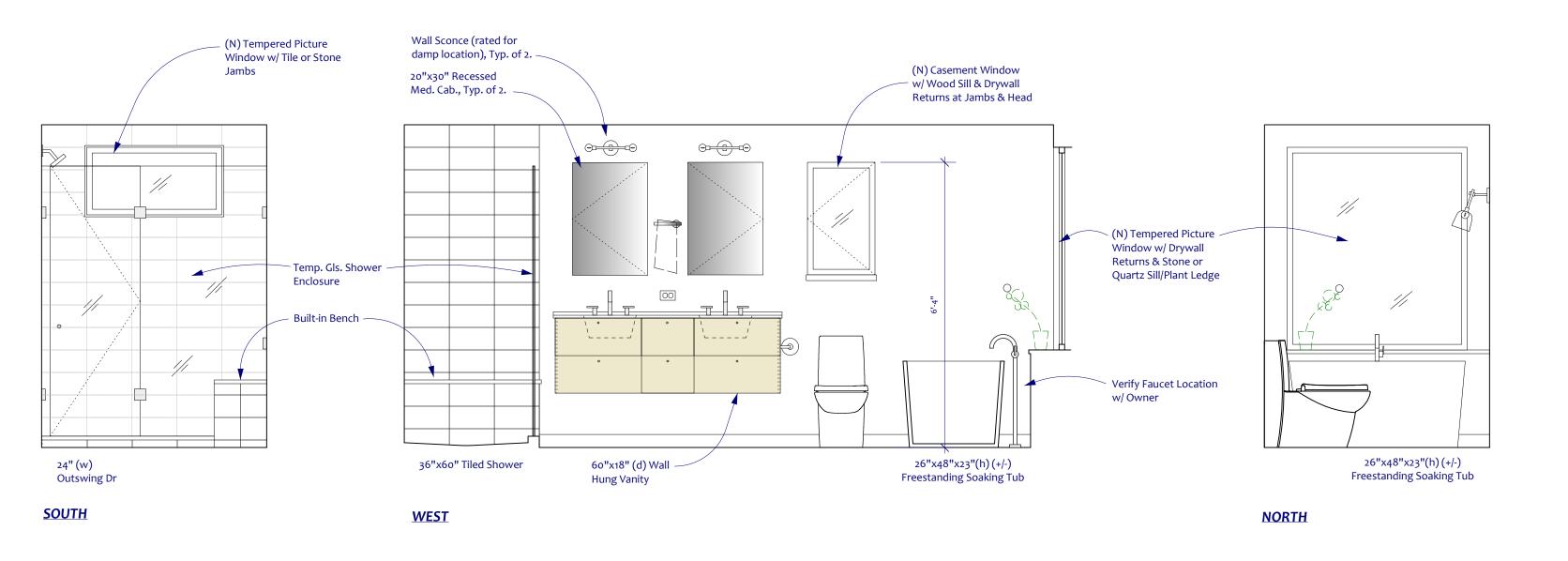
ESIDENCEZ PARKWAY

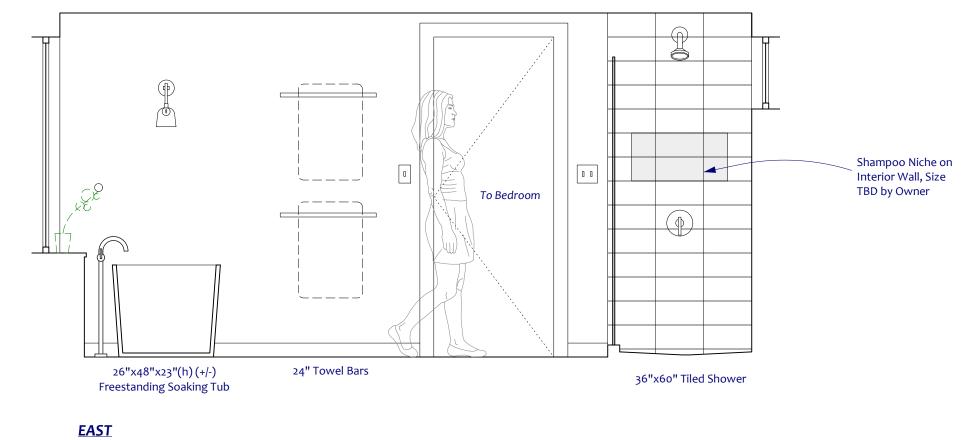
RD, NY 14534 WEST RI 10 REITZ PITTSFOR

NEW ELEVATIONS WINDOW SCHEDULE

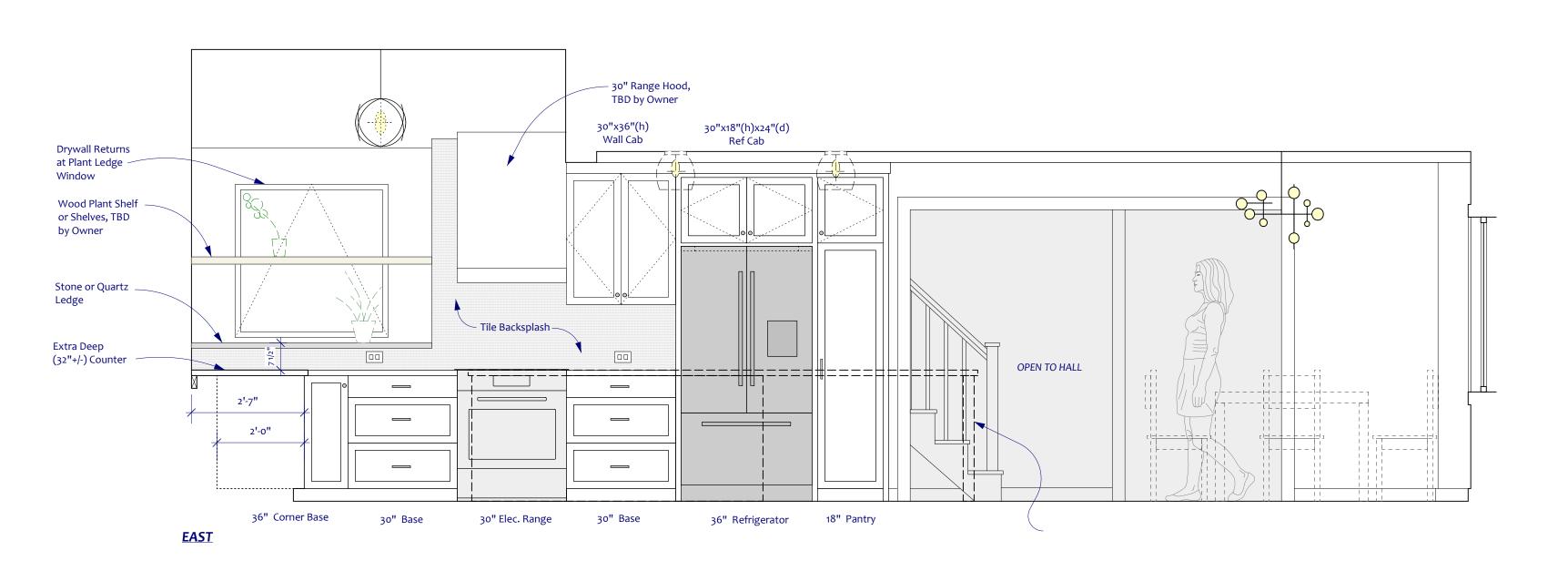
SCALE: AS INDICATED DRAWN BY: AEC FOR BUILDING PERMIT

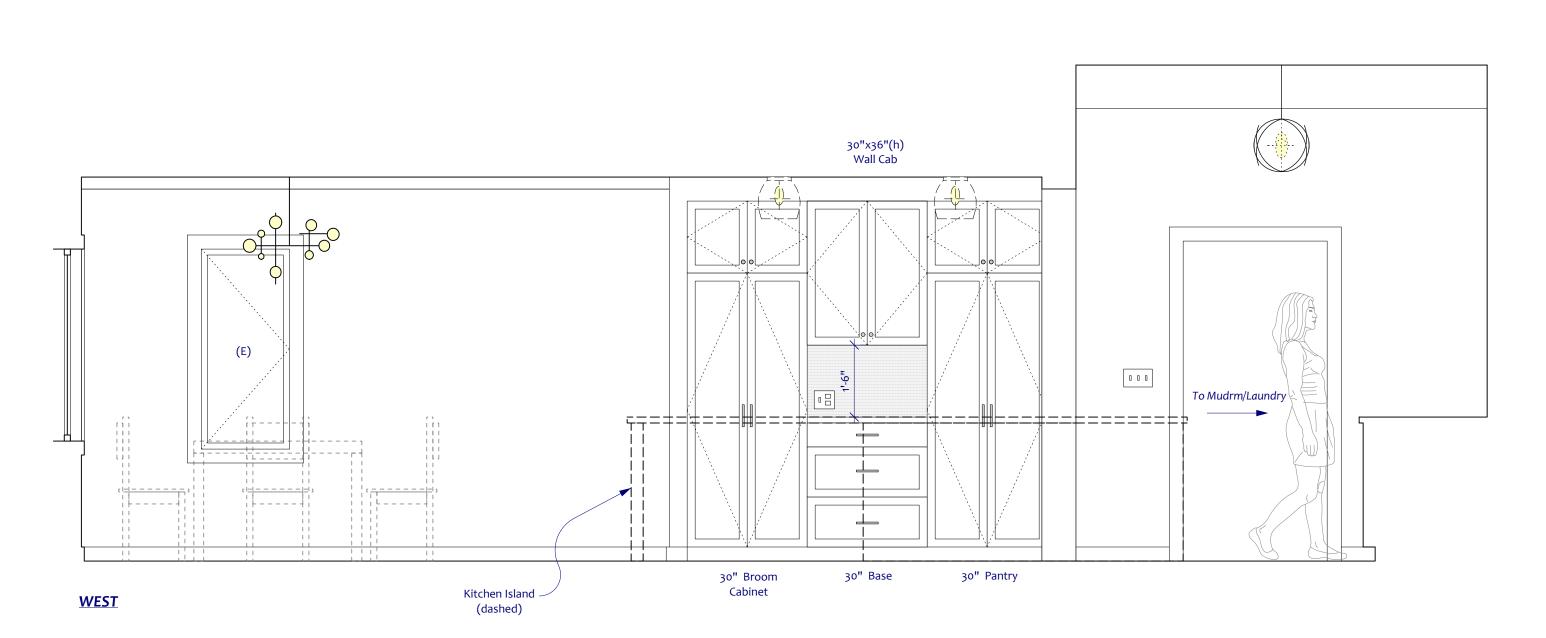
WEST

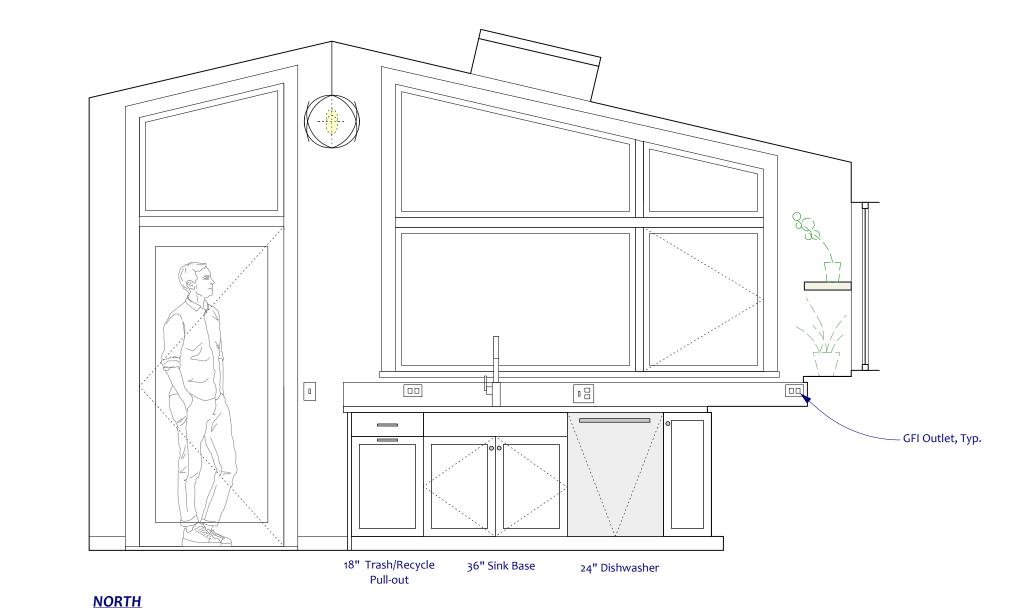


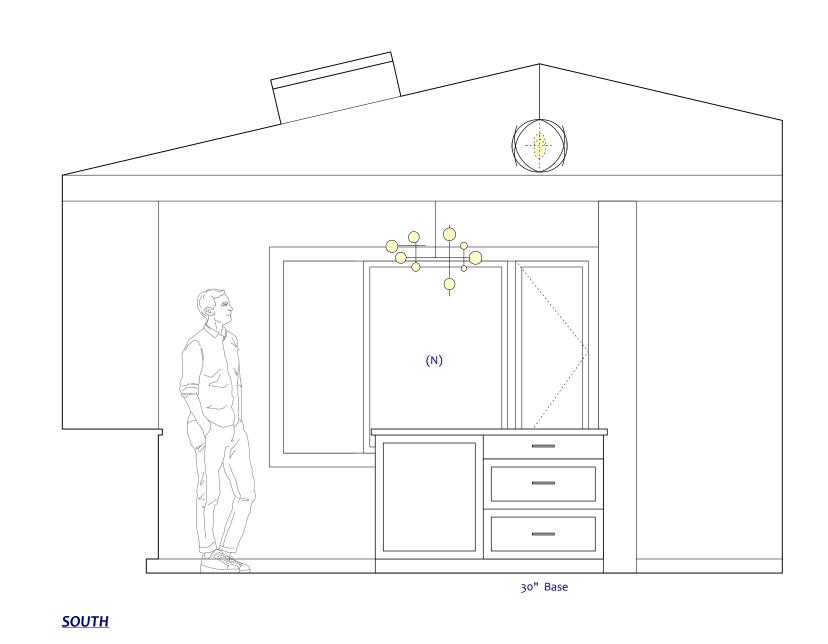


PRIMARY BATHROOM INTERIOR ELEVATIONS Scale: 1/2" = 1'-0"









2 KITCHEN/DINING RM INTERIOR ELEVATIONS
Scale: 1/2" = 1'-0"

WEST

INTERIOR

DATE: 5.14.24

SCALE: AS INDICATED

DRAWN BY: AEC

REVISIONS

DATE SIGNED: 5.14.24 LICENSE RENEWAL DATE: 7.31.25

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9x30 Design

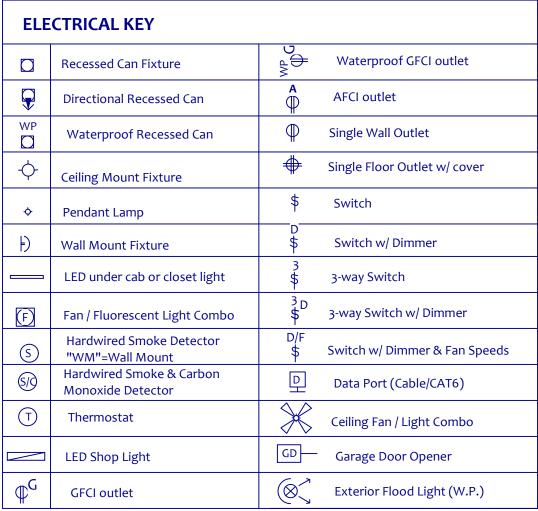
314 Hollywood Avenue Rochester, NY 14618 (ph) 585.242.0501

info@9x30.com www.9x30.com

ESIDENCE PARKWAY RD, NY 14534

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ELECTRICAL NOTES:

1. ALL WORK SHALL COMPLY WITH CURRENT NYS ENERGY CONSERVATION CODE.

2. ALL NEW GENERAL OUTLETS TO BE 14" A.F.F. (TO TOP OF BOX), UNLESS OTHERWISE NOTED. ALL NEW ABOVE COUNTER OUTLETS TO BE INSTALLED 42" A.F.F. (TO TOP OF BOX). ALL NEW SWITCHES TO BE 48" A.F.F. (TO TOP OF BOX).

3. ONLY ONE GFCI OUTLET PER CIRCUIT.

4. VERIFY ALL FIXTURE TYPES & LOCATIONS W/ OWNER. CONTRACTOR TO DISCUSS ELECTRICAL WITH OWNER TO DETERMINE ADDITIONAL NEEDS, SUCH AS CABLE, TELEPHONE, A/V EQUIPMENT, ETC.

5. ALL OUTLETS & ELECTRICAL HOOKUPS FOR APPLIANCES TO BE LOCATED & INSTALLED ACCORDING TO MANUFACTURER INSTALLATION INSTRUCTIONS.

6. ALL APPLIANCES (REFRIGERATOR, RANGE, HOOD, DISHWASHER, MICROWAVE, WASHER, DRYER) TO BE PROVIDED BY OWNER.

7. ALL ELECTRICAL OUTLETS TO BE WHITE, RECTANGULAR STYLE, TAMPER RESISTANT 15 AMP DUPLEX OUTLETS, UNLESS OTHERWISE NOTED. COVER PLATES TO BE WHITE TO MATCH. SEE PLAN FOR AFCI AND GFCI REQUIRED LOCATIONS.

VERIFY WITH OWNER.

9. ALL LED LIGHTS TO BE WARM LIGHT (2700 KELVIN MAX), V.W.O.

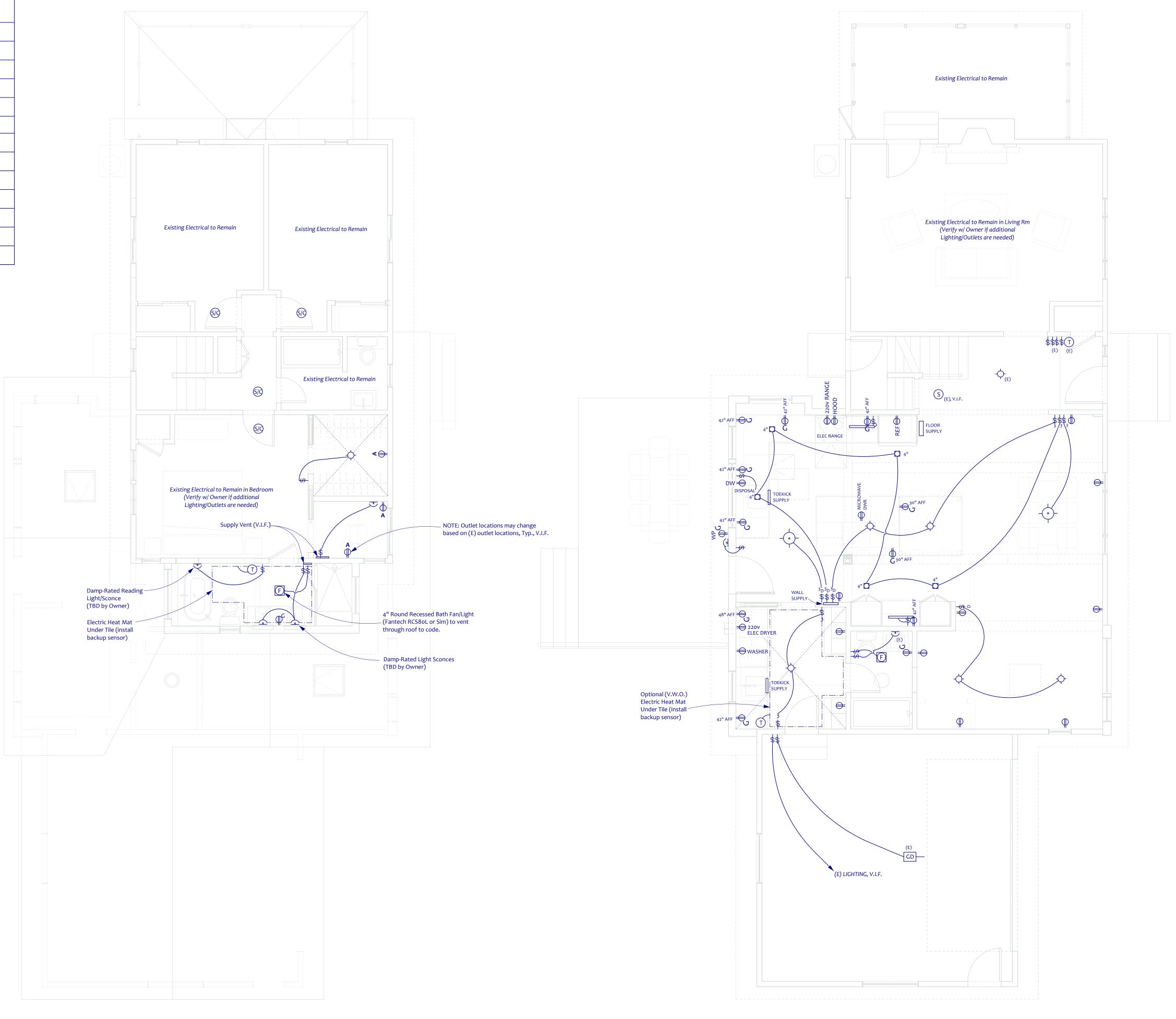
8. ALL SWITCHES TO BE WHITE ROCKER STYLE. DIMMER

SWITCHES TO BE LUTRON "DIVA" PRESET DIMMER OR EQUAL.

MECHANICAL & PLUMBING NOTES:

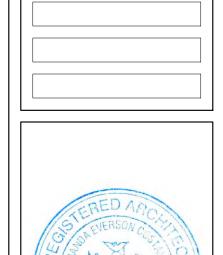
1. ALL EQUIPMENT TO BE INSTALLED ACCORDING TO MANUFACTURER'S INSTALLATION INSTRUCTIONS WITH ACCESS & CLEARANCES TO MEET CODE.

2. ADDITIONS TO BE HEATED/COOLED BY EXISTING FURNACE IN BASEMENT WITH DUCTWORK TO NEW SUPPLY VENTS IN NEW CRAWL SPACE. CONTRACTOR TO VERIFY THAT EXISTING UNIT IS SIZED TO ACCOMMODATE THE ADDITIONAL VOLUME. SUPPLEMENTAL HEAT TO BE PROVIDED BY UNDER-FLOOR ELECTRIC HEAT MATS (SEE PLANS).









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ELECTRICAL PLANS

DATE: 5.14.24

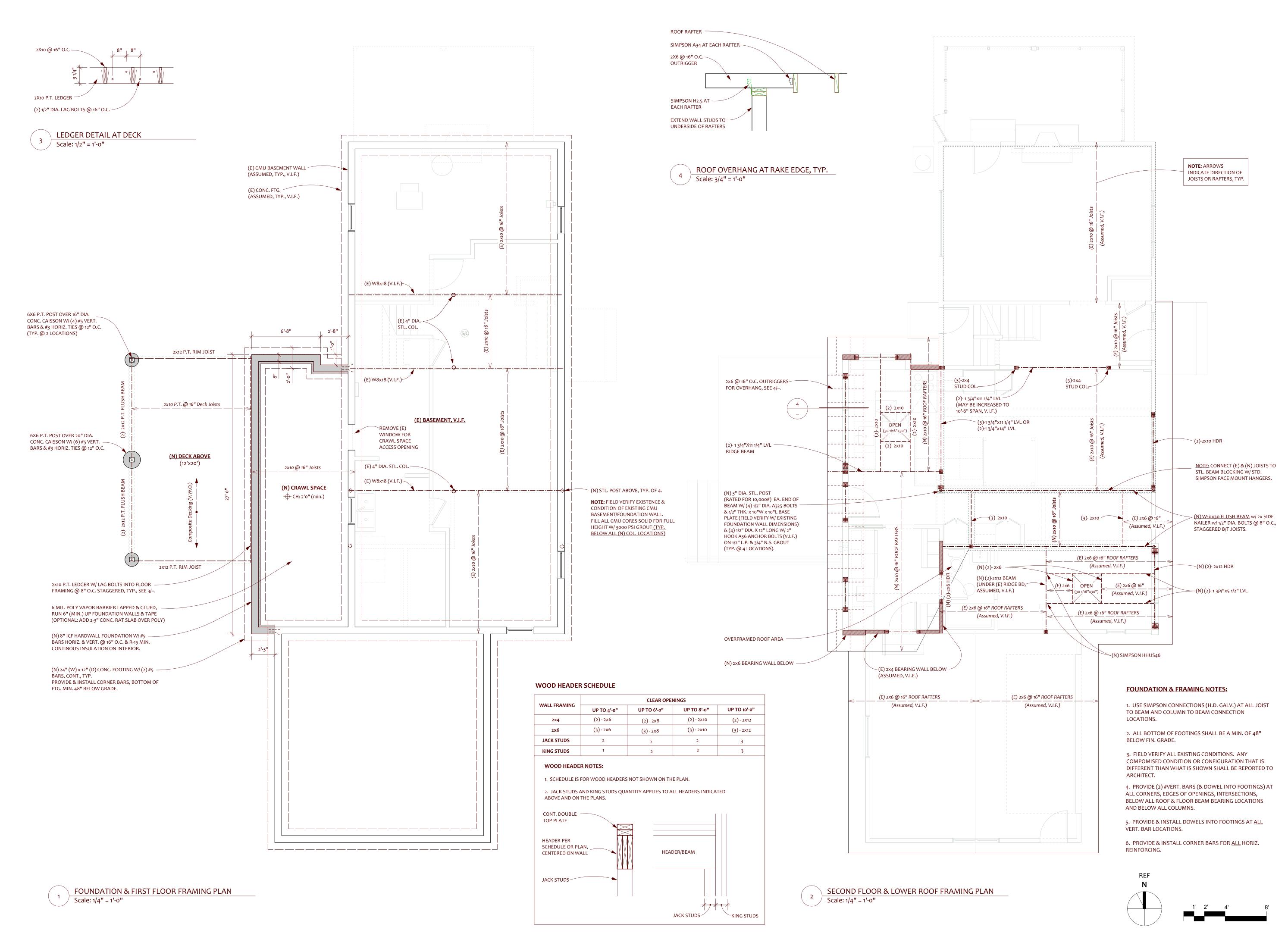
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WEST RESIDENCE
10 REITZ PARKWAY
PITTSFORD, NY 14534

FLOOR FRAMING PLAN
SECOND FLOOR & LOWER
ROOF FRAMING PLAN

SCALE: AS INDICATED

DRAWN BY: AEC

FOR BUILDING PERMIT

WEST

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STRUCTURAL NOTES:

I. GENERAL NOTES

1. The building code used is the New York State, latest edition. 2. The Contractor shall verify all dimensions and conditions in the field prior to commencing work. The Engineer shall be notified of any discrepancies which

3. All footings are to be placed on suitable, undisturbed, native soil. The soil bearing pressure should be confirmed/verified at the footings by an accepted testing method. All retaining wall footings have been designed based upon a net allowable bearing pressure of 1500 psf. This pressure has been assumed per NYS maximum allowable. The soil bearing pressure should be verified by a geotechnical engineer and be reported to the structural engineer of record. 4. Contractor shall coordinate the structural drawing with the architectural, mechanical, electrical and plumbing drawings prior to fabrication and installation

of any structural components. Any discrepancies shall be reported to the structural engineer immediately.

II. FOUNDATION WORK

Soil pressure to be field verified. Contact Geotechnical Engineer prior to commencing work for a visual inspection of bearing surfaces.

B. DESIGN CAPACITIES Assumed net allowable soil bearing pressure is 1500 psf per ICC/NYS Code

maximum allowable. All cantilever retaining walls have been designed for an Active Lateral Earth Pressure equal to 45 psf per foot of wall length. All basement walls have been designed for an At-Rest Lateral Earth Pressure equal to 60 psf per foot of wall length. These pressures shall be field verified by a NYS licensed geotechnical engineer.

C. FILL AND BACKFILL

1. Compact each fill layer not less than 95% of maximum density of Modified Proctor per ASTM D 1557.

III. CONCRETE

ACI Code.

A. MATERIAL PROPERTIES

1. All cast-in-place concrete -- minimum strength in 28 days to be 4000 psi. 2. Bar reinforcing ASTM A615, Grade 60 Welded wire fabric ASTM A185

B. INSTALLATION 1. Unless otherwise shown, all reinforcing shall be detailed in accordance with the latest version of ACI 318. 2. Unless otherwise noted, reinforcing shall have the following minimum concrete covers: 3" cover where unformed and against earth, 2" where formed and against earth, and 1" where formed and not against earth. See

3. Unless otherwise noted, reinforcing splices shall be minimum 48 bar

diameters. 4. Provide 3/4" chamfer at all exposed concrete corners and edges. 5. Engineer to inspect and approve installed example of typical wall reinforcement types before concrete placement. 6. Provide corner bars at all intersections and corners, e.g.: walls,

III. CONCRETE MASONRY

footings, etc.

A. MATERIAL PROPERTIES

1. All concrete block work to have horizontal masonry reinforcing every second course or as indicated on drawings.

2. Fill block cores solid under lintels, beam pockets, and all bearing 3. Fill block cores solid around all rebar with grout. 4. Concrete block masonry whall be set in full mortar bedding.

5. Keep cores of reinforced masonry free of mortar droppings. 6. Concrete clock units shall conform to ASTM C90, Type I, Grade N. 7. Mortar ASTM C270, Type S (fm=1500 psi)

Reinforcing: Bars . . . ASTM A615, Grade 60

8. Block fill - course grout 3,000 psi

Trussed masonry joint reinforcing ASTM A82 10. Lap splices of reinforcing bars shall be 40 bar diameters but not

less than 24".

B. INSTALLATION 1. All concrete block work to have horizontal reinforcing every 2nd course or as indicated in drawings.

2. Fill block cores solid under lintels, beam pockets, and all bearing 3. Provide control joints in masonry walls at maximum 24 feet on

center or as noted on the drawings. 4. Keep cores of reinforced masonry free of mortar droppings, provide cleanouts at base of every core.

IV. WOOD

1. Minimum fiber stress in bending (Fb) for all wood to be 850 psi (single member uses). Compression Parallel to Grain (Fc) to be 1300 psi unless otherwise noted, E=1300000 psi, Minimum shear stress (Fv) = 150 psi unless otherwise noted, Micro+Lam Specifications Fb = 2600 psi, E = 1900000 psi. 2. Continuously glue and connect all beams & headers with 2 rows (3 rows for 14"+ deep beams) of 16d common nails at 12" O.C. max., stagger (ea. face for 3-ply members).

3. See Roof Framing Plan for all interior and exterior header types. 4. Provide solid blocking under all header supports down to masonry wall or steel beam. 5. Triple studs under each end of headers, unless otherwise noted.

6. Wood in contact with masonry, concrete, or earth or within 1'-0" of grade & exposed shall be pressure treated. 7. Framing anchors, joist hangers, etc, shall be galvanized steel (16 ga.

min.). Install in strict acordance with Mfrs. Instructions. 8. All exterior walls to be 2x6 studs @ 16" O.C. unless otherwise noted, blocking shall be provided @ 4' O.C. or at plywood panel edges.

9. All interior walls to be 2x4 studs @ 16" O.C. unless otherwise noted. 10. Wall sheathing: 1/2" CDX Plywood 11. Roof sheathing: 1/2" CDX Plywood (5/8" CDX Plywood @ Trusses) w/

10d nails @ 12" O.C. (min.) into all supports. 12. Pre-engineered trusses @ 24" O.C., design by manufacturer -- trusses shall be designed by a NYS licensed engineer & designed to withstand a 35 psf snow load (balanced) or 40 psf snow load (unbalanced), 10 psf dead load for top chord and 5 psf dead load for bottom chord. Trusses must also be designed for snow drift loads (if applicable). Girder trusses or special trusses must be designed as indicated on the roof framing plan.

V. STRUCTURAL STEEL

A. MATERIAL PROPERTIES 1. Steel tubes ASTM A500, Gr. B

"W" shapes ASTM A992 Grade 50 Plates, Bars, Angles ASTM A36 Pipes, Bars, Angles ASTM A53, Type E (Fy=35ksi) 2. Bolts ASTM A325N

3. Welding E70XX-AWS D1.1 4. Anchor Bolts shall be ASTM A36

B. INSTALLATION

1. Welding by certified welder only. 2. Top of steel and bottom of steel elevations are from the top of the

top plate to the bottom of the base plate. 3. All structural steel shall be primed and painted with a high quality epoxy paint (TNEMEC or equal).

4. All structural steel fabrication, erection, and connections to conform with current edition of AISC handbook. Field measure all steel prior to fabrication.

VI. MISCELLANEOUS

1. Provide shop drawings for structural steel, roof trusses, masonry, concrete mix design and reinforcing for approval before fabrication. 2. All shop drawings shall be stamped by a licenced professional engineer in the State of New York.

3. Paint all exposed steel below grade (o'-o") with asphaltic damproofing except bearing surfaces. 4. Field measure all steel prior to fabrication

ROOF ASSEMBLY, TYP.:

ASPHALT SHINGLE ROOF, OVER 2 LAYERS OF 30# BLDG PAPER (ICE & WATER SHIELD FOR 4' AT ALL EAVES OR TO MEET CODE), OVER 1/2" CDX PLY OVER ROOF FRAMING, SEE 2/S1.0, WITH SIMPSON H2.5 HURRICANE TIES @ END OF EA. RAFTER, WITH R-49 EQUIV. CLOSED CELL SPRAY FOAM, OVER 1/2" G.W.B.

WD. FASCIA BOARD CEDAR SOFFIT

ALUMINUM DRIP EDGE

WALL ASSEMBLY:

ALUMINUM GUTTER TO MATCH (E)

JAMES HARDIE BOARD & BATTEN SIDING (TO MATCH (E)), OVER 15# BLDG PAPER OR HOUSEWRAP (LAPPED AND TAPED), OVER 1/2" CDX PLY OR OSB, OVER 2X6 @ 16" O.C. WITH R-20 (MIN.) INSULATION,

FILL RIM JOIST CAVITY W/ CLOSED CELL SPRAY FOAM

OVER 1/2" G.W.B. (GREENBOARD AT BATHROOM, TYP.)

(R-30 EQUIVALENT, MIN.) 2X6 P.T. SILL PLATE W/ FIBER SILL SEALER

5/8" DIA. A307 ANCHOR BOLTS, 12" LONG, W/ 3" HOOK @ 4'-0" O.C., AND WITHIN 12" MAX. OF EA. END.

3/8" MIN. PORTLAND CEMENT PARGING W/ BITUMINOUS COATING TO CODE

#5 HORIZONTAL & VERTICAL REBAR (CENTERED IN CORES) @ 16" O.C. MAX, TYP.

BUILDBLOCK ICF HARDWALL FOUNDATION WALL (8" THK. POURED CONC. W/ R10.5 MIN. INSULATION INSIDE)

GRADE TO SLOPE AT 2% MIN. AWAY FROM HOUSE

NEW LOWER ROOF FRAMING

ROOF FRAMING PLAN

OVER ADDITION, SEE 2/S1.0.

MORTAR CANT

IMPORTED #1 & #2 WASHED STONE; COMPACT TO 95% OF MODIFIED PROCTOR. WRAP WITH MIRAFI FILTER FABRIC.

4" PERFORATED PVC DRAIN PIPE WRAPPED IN MIRAFI FILTER FABRIC

DRAIN TO DAYLIGHT OR MUNICIPAL 24" (W) X 12" (THICK) CONC. FOOTING CONNECTION, PER LOCAL CODE (48" BELOW GRADE, MIN.) W/ (2)-#5 REBAR CONTINUOUS (3" MIN. COVERAGE); CORNER BARS TO BE INSTALLED AT

FOOTING CORNERS, TYP. 2'0" LONG #6 BENT BAR DOWELS

6 MIL. POLY (LAPPED & GLUED,

RUN UP FDN. WALL MIN. 6" &

TAPE), OVER 4" GRAVEL

FLOOR ASSEMBLY:

(N) HARDWOOD FLOORING, OVER 5/8" T&G PLY -

SUBFLOOR (GLUE & NAIL) OVER FLOOR JOISTS,

W/ 6" HOOK @ 48" O.C. (LOCATE IN SAME CORES AS VERT BARS)

SUITABLE, UNDISTURBED NATIVE SOILS

(TO BE VERIFIED BY A NYS LICENSED GEOTECHNICAL ENGINEER, AS REQUIRED)

WALL SECTION AT FIRST FLOOR ADDITION Scale: 1/2" = 1'-0"

(N) MUDROOM/LAUNDRY

OPTIONAL 2" THK. MUD SLAB—

ROOF ASSEMBLY, TYP.: ARCHITECTURAL ASPHALT SHINGLE ROOFING TO

MATCH (E), OVER 2 LAYERS OF 30# BLDG PAPER (ICE & WATER SHIELD AT ALL EAVES & VALLEYS TO CODE), OVER 1/2" CDX PLY, OVER 2x6 @ 16" O.C. -ROOF RAFTERS WITH SIMPSON H2.5 HURRICANE TIES @ END OF EA. RAFTER, WITH R-49 EQUIV. CLOSED CELL SPRAY FOAM, OVER 2x6 @ 16" O.C. CEILING W/ 1/2" GREENBOARD.

ALUMINUM DRIP EDGE ALUMINUM GUTTER -

WOOD SOFFIT (MATCH (E)) **WALL ASSEMBLY:** HORIZONTAL STAINED GRADE 'D' CEDAR SIDING, OVER 15# BLDG PAPER (LAPPED AND TAPED),

1x8 WD FASCIA (MATCH (E), V.I.F.)

OVER 1/2" CDX PLY OR OSB, OVER 2X6 @ 16" O.C. WITH R-20 (MIN., NOT LESS THAN 3") CLOSED CELL SPRAY FOAM INSULATION,

OVER 1/2" GREENBOARD (N) (2)-2X12 RIDGE BEAM 2/ (3)-2X6 STUD COL. BELOW DOWN TO SILL OVER STL. BEAM

BATHROOM FLOOR ASSEMBLY: TILE OVER MORTAR BED W/ ELECTRIC HEAT MAT, OVER

5/8" T&G PLY SUBFLOOR (GLUE & NAIL) OVER FLOOR JOISTS (SEE 1/S1.0)

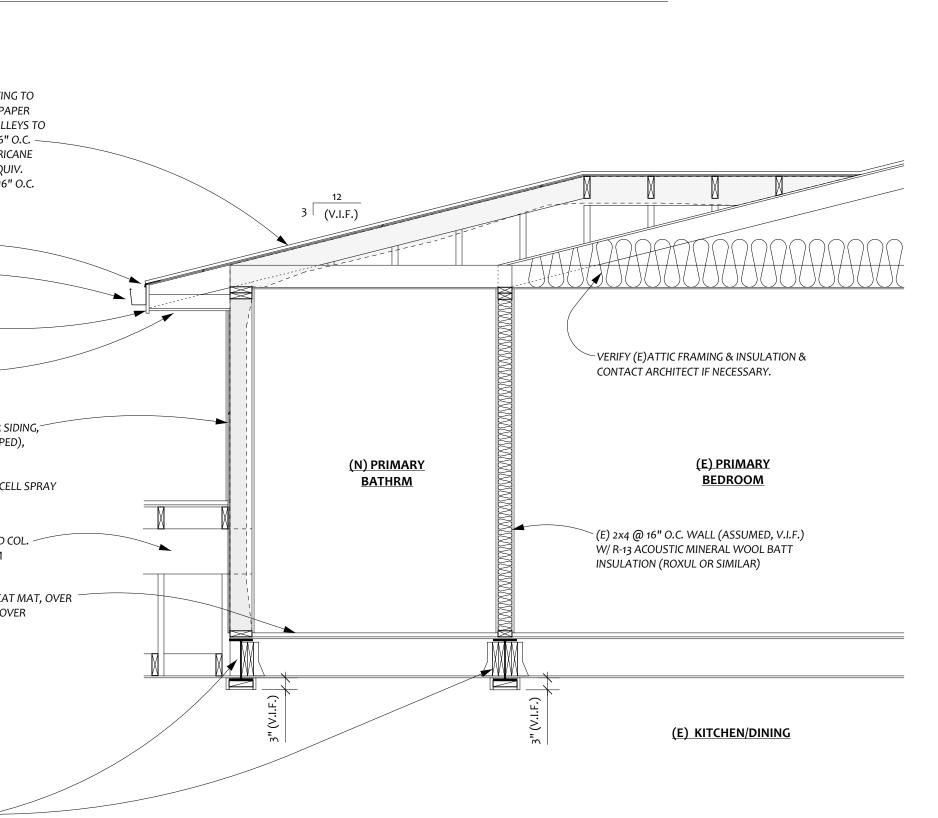
(N) W10x30 STL. BEAM, INSTALL FLUSH IN SECOND FLOOR FRAMING.

Scale: 1/2" = 1'-0"

CLAD EXPOSED BOTTOM OF BEAM

IN PT. GR. WOOD, TYP.

SECTION THROUGH SECOND FLOOR ADDITION



(E) ROOF FRAMING (V.I.F.) (N) 2X6 @ 16" O.C. ROOF 2x6 @ 16" O.C. 2x6 @ 16" O.C. FRAMING, OVERFRAMED OVER (E) ROOF, TYP. Roof Rafters **Roof Rafters** (2)- 2x8 HDR (3)- 2x6 HDR (2)- 2x8 HDR -(3)- 2x6 HDR -1/2" (MIN.) CDX PLY SHEATHING, TYP. FRAMING FOR (N) SKYLIGHT ON LOWER ROOF, SEE 2/S1.0 (N) 2x6 @ 16" O.C. BEARING WALL, TYP. (E) ROOF FRAMING (V.I.F.)

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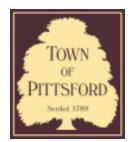
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DATE: 5.14.24 SCALE: AS INDICATED DRAWN BY: AEC FOR BUILDING PERMIT

WEST



Department of Public Works 11 South Main Street Pittsford, New York 14534

Permit # B24-000072

Phone: 585-248-6250 FAX: 585-248-6262

DESIGN REVIEW AND HISTORIC PRESERVATION BOARD REFERRAL OF APPLICATION

Property Address: 15 Bridleridge Farms PITTSFORD, NY 14534

Tax ID Number: 191.01-1-78

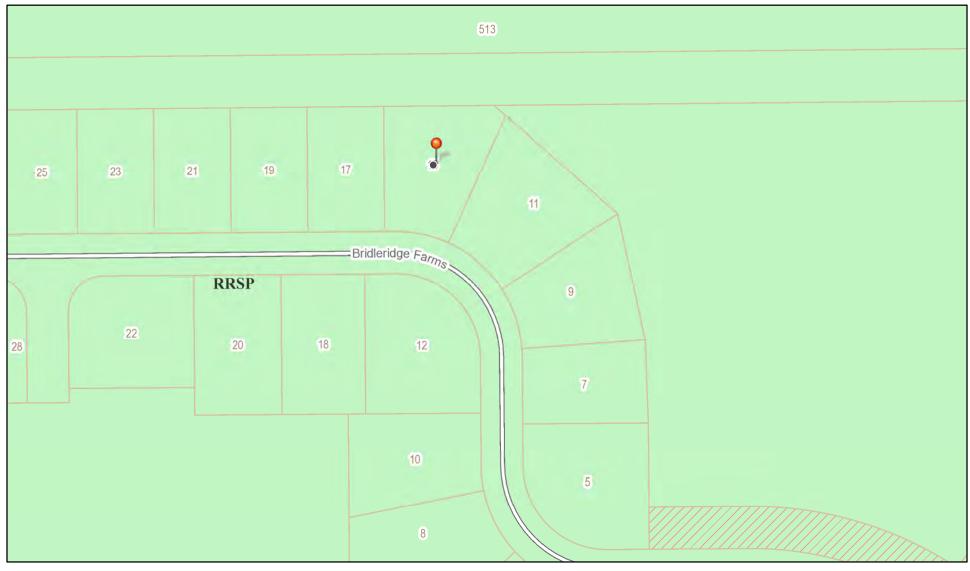
Zoning District: RRSP Rural Residential South Pittsford

Owner: Bridlebridge Farms LLC Applicant: Bridlebridge Farms LLC

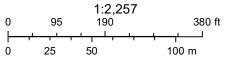
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Residential Design Review §185-205 (B)	Build to Line Adjustment §185-17 (B) (2)
Commercial Design Review §185-205 (B)	Building Height Above 30 Feet §185-17 (M)
Signage §185-205 (C)	Corner Lot Orientation §185-17 (K) (3)
Certificate of Appropriateness §185-197	Flag Lot Building Line Location §185-17 (L) (1) (c)
Landmark Designation §185-195 (2)	Undeveloped Flag Lot Requirements §185-17 (L) (2)
Informal Review	

Project Description: Applicant is requesting design review for a 3,135-square-foot, two-story home in the Bridleridge Farms Subdivision.

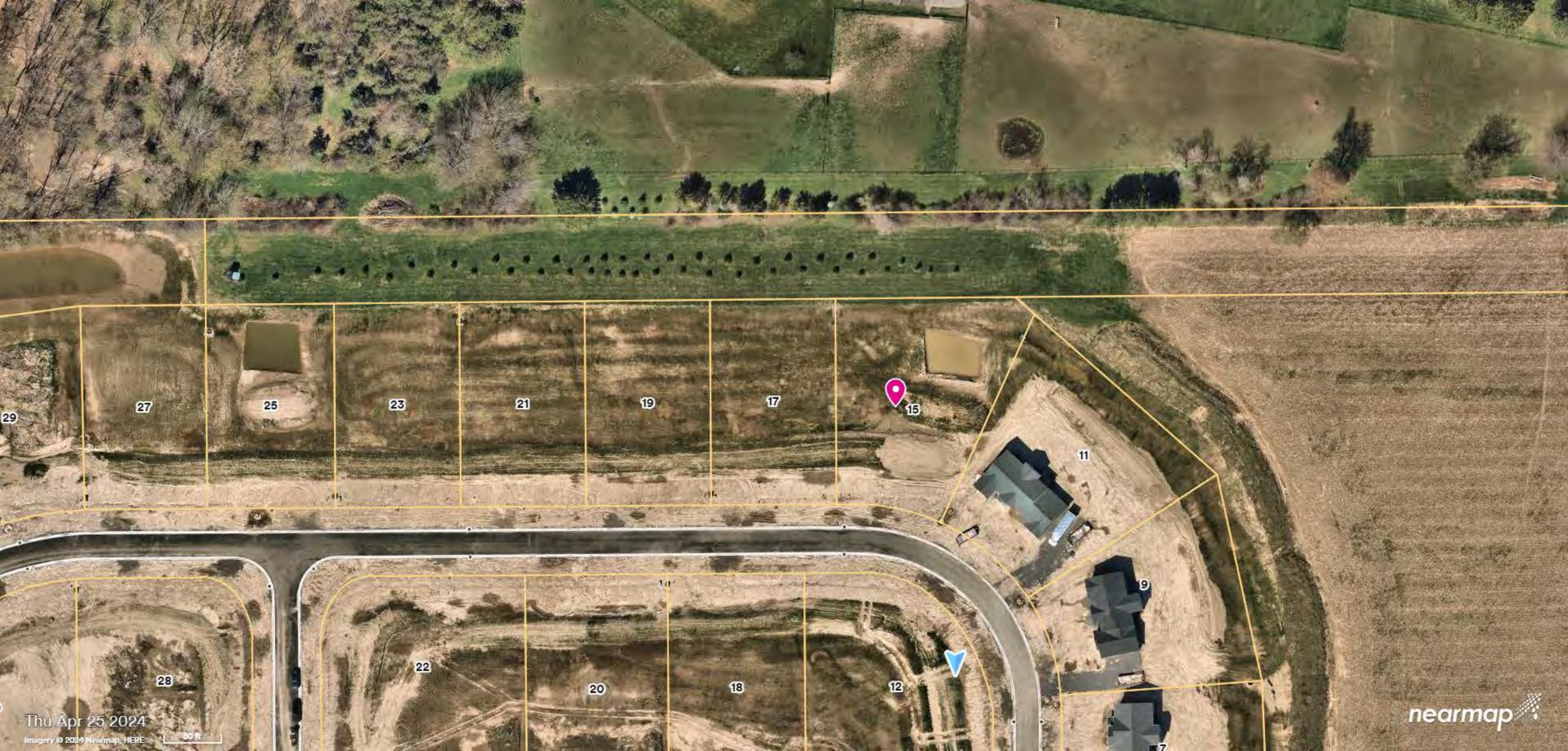


Printed May 16, 2024



Town of Pittsford GIS

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GENERAL NOTES:

THESE PLANS COMPLY WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE (RCNYS) AND THE 2018 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE (ECCCNYS).

COMPLIANCE METHOD: RESCHECK CERTIFICATE

THESE PLANS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS BY GREATER LIVING ARCHITECTURE.
ANY UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS IS A VIOLATION OF COPYRIGHT LAWS. CLIENT RIGHTS ARE LIMITED TO ONE-TIME USE FOR THE CONSTRUCTION OF THESE PLANS.

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS PLAN IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR, BUILDER OR OWNER OF THIS BUILDING TO NOTIFY GREATER LIVING ARCHITECTURE OF ANY DEVIATION FROM THESE DRAWINGS.

CONTRACTOR TO BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING/ ELECTRICAL/ MECHANICAL/ SANITARY AND ENERGY CONSERVATION CODES - STATE AND OR LOCAL.

CONTRACTOR TO BE RESPONSIBLE TO LOCAL BUILDING DEPARTMENT AND THAT DEPARTMENT'S INTERPRETATION OF THE BUILDING CODE SHOULD IT DIFFER FROM THESE PLANS.

CONTRACTOR TO BE RESPONSIBLE THAT BRAND NAME OF WINDOWS AND DOORS INSTALLED MEET NEW YORK STATE EXIT REQUIREMENTS.

IN THE EVENT OF ANY DISCREPANCIES BETWEEN PLANS, ELEVATIONS, AND/OR DETAILS, THE CONTRACTOR / SUB-CONTRACTOR SHALL CONTACT GREATER LIVING ARCHITECTURE BEFORE CONSTRUCTION FOR CLARIFICATION. IF GREATER LIVING ARCHITECTURE IS NOT CONTACTED, THE CONTRACTOR / SUB-CONTRACTOR WILL ASSUME FULL RESPONSIBILITY.

CONTRACTOR TO BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECATIONS/ PROGRAMS IN CONNECTION WITH THE WORK.

THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS - USE DIMENSIONS GIVEN.

THE CONTRACTOR/ OWNER SHALL REQUEST LOCATION OF ALL UTILITIES PRIOR TO ANY DIGGING.

THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND OWNER'S AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY CLAIMS ARISING FROM INJURIES DURING CONSTRUCTION, OR FAILURE TO MAINTAIN SAFE CONDITIONS ON THE SITE.

THESE DRAWINGS HAVE BEEN PREPARED FOR STUCTURAL REFERENCE ONLY. ELECTRICAL, MECHANICAL AND OTHER BUILDING

R806.2 MINIMUM VENT AREA. THE MINIMUM NET FREE VENTILATION AREA SHALL BE 150 OF THE AREA OF THE VENTED SPACE.

GAS PIPING SHALL BE INSTALLED IN ACCORDANCE WITH PART VI OF THE 2020 RCNYS. A SHUTOFF VALVE SHALL BE PROVIDED AHEAD OF EVERY GAS APPLIANCE OR OUTLET FOR A GAS CONNECTION. VALVES SHALL BE LOCATED IN THE SAME ROOM AS, & WITHIN 6' OF THE APPLIANCE, EXCEPT THAT VALVES FOR VENTED GAS FIREPLACES, INSERTS, LOGS & ROOM HEATERS MAY BE REMOTE FROM THE APPLIANCE WHERE PROVIDED WITH READY ACCESS. SUCH VALVES SHALL BE PERMANENTLY IDENTIFIED & SERVE NO OTHER EQUIPMENT. SHUTOFF VALVES SHALL BE INSTALLED IN ACCORDANCE W/ SECTION G242O.

DRYER EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH & BE CONSTRUCTED OF METAL HAVING A MINIMUM THICKNESS OF 0.0157" (NO. 28 GUAGE), & SHALL BE 4" NOMINAL IN DIAMETER. EXHAUST DUCTS SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS, BUT NOT LESS THAN 3' IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS.

ENERGY EFFICIENCY:

EXPANSION AND CONTRACTION.

SYSTEMS, IF REQUIRED, ARE TO BE DONE BY OTHERS

R401.3 CERTIFICATE (MANDATORY) A PERMANENT CERTIFICATE COMPLETED SHALL BE COMPLETED BY THE BUILDER OR OTHER APPROVED PARTY, AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION INSIDE THE BUILDING.

R402.2.4 ATTIC ACCESS SHALL BE INSULATED WITH THE SAME R- VALUE AS THE ATTIC, WEATHER STRIPPED & LATCHED

R402.4 AIR LEAKAGE. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.5.

R402.4.1BUILDING THERMAL ENVELOPE. THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS R402.4.1.1 AND R402.4.1.2. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL

R402.4.1.1 INSTALLATION. THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN TABLE 402.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE R402.4.1.1, AS APPLICABLE TO THE METHOD OF CONSTRUCTION. WHERE REQUIRED BY THE CODE OFFICIAL, AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE. SEE PAGE N-2 FOR TABLE.

R402.4.1.2 TESTING. THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING THREE AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH RESNET/ICC 380, ASTM E779, OR ASTM E1827 AND REPORTED AT A PRESSURE OF 0.2 INCH w.g. (50 PASCALS). TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE. A WRITTEN REPORT OF THE TEST RESULTS SHALL BE SUPPLIED TO THE CODE OFFICIAL PRIOR TO RECEIPT OF A C OF O. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AN APPROVED PARTY INDEPENDENT OF THE INSULATION INSTALLER TO DO THE INSPECTIONS

DURING TESTIN

- 1. EXTERIOR WINDOWS AND DOORS, FIREPLACES AND STOVE DOORS SHALL BE CLOSED, BUT NOT SEALED, BEYOND THE INTENDED WEATHERSTRIPPING OR OTHER INFILTRATION CONTROL MEASURES.
- 2. DAMPERS INCLUDING EXHAUST, INTAKE, MAKEUP AIR, BACKDRAFT AND FLUE DAMPERS SHALL BE CLOSED, BUT NOT SEALED BEYOND INTENDED INFILTRATION CONTROL MEASURES.
- 3. INTERIOR DOORS, IF INSTALLED AT THE TIME OF THE TEST, SHALL BE OPEN.
- 4. EXTERIOR DOORS FOR CONTINUOUS VENTILATION SYSTEMS AND HEAT RECOVERY VENTILATORS SHALL BE CLOSED AND SEALED.
- 5. HEATING AND COOLING SYSTEMS, IF INSTALLED AT THE TIME OF REST, SHALL BE TURNED OFF.6. SUPPLY AND RETURN REGISTERS, IF INSTALLED AT THE TIME OF REST, SHALL BE FULLY OPEN.

R402.4.5 RECESSED LIGHTING. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. RECESSED LUMINARIES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE OF NOT GREATER THAN 2.0 c.f.m (0.944 L/s) WHEN TESTED IN ACCORDANCE WITH ASTM E283 AT A PRESSURE DIFFERENTIAL OF 1.57 p.s.f. (75 Pa.). RECESSED LUMINARIES SHALL BE SEALED WITH A GASKET OR CAULKED BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILIN COVERING.

R402.5 MAXIMUM FENESTRATION U-FACTOR & SHGC (MANDATORY).

THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION U-FACTOR PERMITTED USING TRADEOFFS FROM SECT. R402.1.5

OR R405 SHALL BE .48 IN CLIMATE ZONES 4 & 5 AND 0.40 IN CLIMATE ZONES 6-8 FOR VERTICAL FENESTRATION, & 0.75 IN CLIMATE ZONES 4-8 FOR SKYLIGHTS. THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION SHGC PERMITTED USING TRADEOFFS FROM SECTION R405 IN CLIMATE ZONES 1-3 SHALL BE 0.50

R403.1.1 PROGRAMMABLE THERMOSTAT. THE THERMOSTAT CONTROLLING THE PRIMARY HEATING AND COOLING SYSTEM SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INC. THE CAPABILITY TO SET BACK OR TEMP. OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55 DEG OR UP TO 85 DEG.. THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED BY THE MANF. WITH A HEATING TEMP. SET POINT NO HIGHER THAN 70 DEG. & A COOLING TEMP. SET POINT NO LOWER THAN 78 DEG.

R403.1.2 HEAT PUMP SUPPLEMENTARY HEAT (MANDATORY). HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC-RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

R403.3.1 INSULATION (PRESCIPTIVE) SUPPLY & RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MIN. OF R-8.

WITH THE EXCEPTION OF DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE.

R403.3.2 SEALING (MANDATORY). DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE MECHANICAL CODE OF NEW YORK STATE (MCONYS) OR RCNYS, AS APPLICABLE.

R403.3.3 DUCT TESTING (MANDATORY). DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF

THE FOLLOWING METHODS:

1. ROUGH IN TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa)

ACCROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF
THE TEST. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

2. POSTCONSTUCTION TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH w.g. (25 Pa) ACCROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.

R403.3.5 BUILDING CAVITIES (MANDATORY). BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS.

R403.4 MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F

R403.4 MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F SHALL BE INSULATED TO A MINIMUM OF R-3.

R403.5.1 HEATED WATER CIRCULATION & TEMPERATURE MAINTENANCE SYSTEMS (MANDATORY).

MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.2. AUTOMATIC CONTROLS, TEMPERATURE SENSORS & PUMPS SHALL BE ACCESSIBLE. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE.

R403.5.3 HOT WATER PIPE INSULATION (PRESCRIPTIVE). INSULATION FOR HOT WATER PIPE WITH A MIN. R-3 SHALL BE

HEATED WATER CIRCULATION SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1. HEAT TRACE TEMPERATURE

APPLIED TO THE FOLLOWING:

- 1. PIPING 3/4" AND LARGER IN NOMINAL DIAMETER.
- PIPING SERVING MORE THAN ONE DWELLING UNIT.
 PIPING LOCATED OUTSIDE THE CONDITIONED SPACE.
- 4. PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD.
- 5. PIPING LOCATED UNDER A FLOOR SLAB.
- 7. SUPPLY & RETURN PIPING IN RECIRCULATION SYSTEMS OTHER THAN DEMAND RECIRCULATION SYSTEMS

R403.6 MECHANICAL VENTILATION (MANDATORY). THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE IRC OR IMC, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING

R403.6.1 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY. MECHANICAL VENTILATION SYSTEM FANS SHALL MEET THE EFFICACY REQUIREMENTS OF TABLE R403.6.1.

R403.7 EQUIPMENT SIZING & EFFICIENCY RATING (MANDATORY). HEATING & COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE W/ ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE W/ ACCA MANUAL J OR OTHER APPROVED HEATING & COOLING CALCULATION METHODOLOGIES. NEW OR REPLACEMENT HEATING & COOLING EQUIPMENT SHALL HAVE A EFFICIENCY RATING EQUAL TO OR GREATER THAN THE MINIMUM REQUIRED BY FEDERAL LAW FOR THE GEOGRAPHIC LOCATION WHERE THE EQUIPMENT IS INSTALLED.

R404.1 LIGHTING EQUIPMENT (MANDATORY) A MINIMUM OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

SITE WORK:

THESE PLANS HAVE BEEN PREPARED ACCORDING TO THE 2020 RCNYS AND IECC REQUIREMENTS TO SUIT A GENERAL RANGE OF CONDITIONS THAT MAY BE AFFECTED BY A PARTICULAR BUILDING SITE OR BUILDER/OWNER CONTRACTUAL AGREEMENT. CONTRACTOR TO BE RESPONSIBLE TO ADAPT THESE PLANS TO SUIT THE NEEDS OF THE BUILDING ON SITE AS REQUIRED, PROVIDED THAT SUCH ADJUSTMENTS DO NOT VIOLATE THE CODE OR ALTER THE STRUCTURAL INTEGRITY OF THE BUILDING.

CONTRACTOR/ OWNER SHALL PERFORM EXPLORATORY EXCAVATION TO DETERMINE ACTUAL FIELD CONDITIONS AND NOTIFY THIS OFFICE OF THE FINDINGS TO ALLOW FOR DESIGN CHANGES PRIOR TO ACTUAL CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/ OWNER TO DEVELOP THE NECESSARY FOUNDATION SOIL TO SUSTAIN THE LOAD DESIGNS OF 2500 P.S.F. AND TO HIRE, IF NECESSARY, A SOILS ENGINEER TO INSPECT AND VERIFY SOIL CONDITIONS PRIOR TO POURING OF FOUNDATIONS.

THE CONTRACTOR, BUILDER OR OWNER SHALL NOTIFY GREATER LIVING ARCHITECTURE OF ANY UNUSUAL SITE CONDITIONS WHICH MAY EFFECT THE FOUNDATION, DRAINAGE OR STRUCTURAL MEMBERS INCLUDING REQUIREMENTS FOR ADDITIONAL DEPTH OF FOOTINGS, UNSTABLE SOIL CONDITIONS AND HIGH GROUND WATER TABLE.

NO SITE INSPECTIONS ARE TO BE MADE BY THIS OFFICE. CONTRACTOR TO BE RESPONSIBLE FOR MATERIALS AND WORKMANSHIP. SUBSTITUTIONS FOR MATERIALS SPECIFIED TO BE MADE WITH THE PERMISSION OF THE LOCAL BUILDING DEPT.

SPEC HOUSE / THE NEWTON

LOT 5 BRIDLERIDGE
PITTSFORD, NY
COVENTRY RIDGE BUILDING CORP.

PLAN 3135 / PROJECT 15439 C

SHEET INDEX

C-1 COVER SHEET

1/5 ELEVATIONS

2/5 FOUNDATION PLAN

3/5 FIRST FLOOR PLAN

4/5 SECOND FLOOR & ROOF PLAN

5/5 SECTIONS

N-1 DETAILS

N-2 REINFORCING NOTES

FOUNDATION:

THE BOTTOM OF ALL FOOTINGS SHALL BE AT LEAST 48" BELOW FINISHED GRADE & TO REST ON (ORIGINAL) UNDISTURBED SOIL, & ASSUMED MINIMUM SOIL BEARING PRESSURE TO BE 2500 P.S.F. CONTRACTOR TO BE RESPONSIBLE FOR ALL SUBGRADE CONDITIONS.

BASEMENT/CELLAR WALLS AND FOOTING DESIGNS ASSUMED PARTIALLY SATURATED SOIL CONDITIONS TO TO THE FULL WALL DEPTH. SHOULD SATURATED CONDITIONS BE ENCOUNTERED, OUR OFFICE SHOULD BE CONTACTED FOR REVIEW AND POSSIBLE REVISIONS TO THE PLANS.

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR PROVIDING PROPER DRAINAGE SHOULD INTERMITTENT SPRINGS OR PERCHED WATER BE ENCOUNTERED.

POSITIVE DRAINAGE SHALL BE PROVIDED SO THAT FINISHED GRADE SLOPES AWAY FROM PERIMETER WALLS & FOOTINGS.

CONTINUOUS 4" DIAM. PERFORATED DRAIN PIPE SHALL BE PLACED ALONG THE PERIMETER OF THE BASEMENT WALLS WHICH DRAINS TO THE SUMP PUMP. A MINIMUM OF 6" GRANULAR BASE SHALL BE PLACED OVER THE DRAIN TILE AND MINIMUM OF 2"

CONCRETE AND MASONRY FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH AS PER TABLES ON N-2.

FIREPLACES:

VENTED GAS FIREPLACE SHALL BE LISTED, LABELED & INSTALLED IN ACCORDANCE WITH ANSI Z21.50, SECT. G2434 OF THE 2020 RCNYS & THE MANUFACTURER'S INSTRUCTIONS. INSTRUCTIONS SHALL BE AVAILABLE ON SITE FOR BUILDING INSPECTOR. APPLIANCE SHALL BE EQUIPED WITH A FLAME SAFEGUARD DEVICE IN ACCORDANCE WITH SECT. G2431.

NEW WOOD-BURNING FIREPLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS OR DOORS, AND OUTDOOR COMBUSTION AIR. WHERE USING TIGHT-FITTING DOORS ON FACTORY BUILT FIREPLACES LISTED AND LABELED IN ACCORDANCE WITH UL 127, THE DOORS SHALL BE TESTED AND LISTED FOR THE FIREPLACE. WHERE USING TIGHT FITTING DOORS ON MASONRY FIREPLACES, THE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 907.

FRAMINO

WOOD ROOF TRUSSES ARE TO BE METAL PLATE CONNECTED WOOD CHORD, WOOD WEB TRUSSES. TRUSS LAYOUT IS SCHEMATIC ONLY. TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN (INCLUDING SPACING) OF ALL TRUSSES. TRUSSES TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENSED IN THE GOVERNING STATE.

PROVIDE ALL TEMPORARY BRACING AND SHORING TO AVOID EXCESSIVE STRESSES AND HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.

UNDER ALL CONCEALED WOOD BEARING POSTS, PROVIDE ADDITIONAL WOOD BLOCKING AS REQUIRED IN FLOOR JOIST SPACE UNDER POST, TO ENSURE SOLID BEARING FROM HEADER OR BEAM DOWN TO FOUNDATION WALL.

ALL WINDOWS AND DOORS ARE TO BE FRAMED WITH MINIMUM (2)2X8 OR (3)2X6 HEADER UNLESS NOTED OTHERWISE.

BUILDER ASSUMES FULL RESPONSIBILITY FOR MAINTAINING THE STRUCTURAL INTEGRITY OF JOISTS, BEAMS OR STUDS WHICH

BUILDER ASSUMES FULL RESPONSIBILITY FOR MAINTAINING THE STRUCTURAL INTEGRITY OF JOISTS, BEAMS OR STUDS WHICH ARE NOTCHED OR DRILLED TO ACCOMMODATE MECHANICAL OR ELECTRICAL LINES. SEE DETAILS ON PG. N-1 FOR ALLOWABLE DRILLING LOCATION ON BEAMS AND JOISTS.

ALL STRESS GRADE LUMBER CONSTRUCTION SHALL COMPLY WITH AITC TIMBER CONSTRUCTION STANDARDS LATEST EDITION. EACH PIECE SHALL BEAR THE STAMP OF A GRADING RULES AGENCY, APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE. GRADE LOSS RESULTING FROM EFFECTS OF WEATHER, HANDLING, STORAGE, RESAWING, OR DIVIDING LENGTHS WILL BE CAUSE FOR REJECTION.

ALL WOOD, IN CONTACT WITH CONCRETE OR EXPOSED TO THE ELEMENTS, SHALL BE PRESSURE TREATED OR OF A SPECIES SUITABLE FOR OUTDOOR USE. ALL FASTENER, JOIST HANGERS, & FLASHING SHALL BE HOT DIP GALVANIZED, STAINLESS STEEL, SILICON, BRONZE, OR COPPER, & SHALL BE APPROVED BY THE MANUFACTURER FOR USE W/ PRESSURE TREATED WOOD.

FLASHING IS REQUIRED IN THE FOLLOWING LOCATIONS: AT WALL & ROOF INTERSECTIONS & PROJECTING WOOD TRIM, TOP OF ALL EXTERIOR WINDOWS & DOOR OPENINGS, CHIMNEYS, UNDER & AT ENDS OF MASONRY, WOOD OR METAL COPINGS & SILLS, & WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAMED CONSTRUCTION & BUILT-IN GUTTERS. FLASHINGS SHALL BE PROVIDED AS REQ'D. TO COMPLY WITH ALL OF SECT. R703.4 OF THE 2020 RCNYS. STRUCTURAL COLUMNS SHALL BE RESTRAINED TO PREVENT LATERAL DISPLACEMENT AT THE BOTTOM END. WOOD COLUMNS SHALL NOT BE LESS IN NOMINAL SIZE THAN 4" X 4" & STEEL COLUMNS SHALL NOT BE LESS THAN 3" DIAM. STANDARD PIPE OR APPROVED EQUIVALENT.

STAIRWAY & GUARD REQUIREMENTS:

STAIRWAYS SHALL BE AT LEAST 36" WIDE. TREADS SHALL BE AT LEAST 9" DEEP PLUS 3/4" TO 1 1/4" NOSING FOR CLOSED RISER TYPE, OR 9" FOR OPEN RISER TYPE. RISERS SHALL BE NO MORE THAN 8 1/4" HIGH. STAIRS SHALL COMPLY WITH SECTION R311.7 OF THE 2020 RCNYS.

HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS WITH FOUR OR MORE RISERS. TOP SURFACE OF HANDRAILS SHALL BE BETWEEN 34" & 36" ABOVE TREAD NOSING.

GUARDS SHALL BE LOCATED ALONG AN OPEN SIDED WALKING SURFACE THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. REQUIRED GUARDS SHALL NOT BE LESS THAN 36" IN HEIGHT MEASURED VERTICALLY ABOVE WALKING SURFACE.

REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW THE PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. AS PER SECTION 312.1.3 OF THE 2020 RCNYS.

GARAGE FIREPROOFING:

3/4 HOUR FIRE RESISTANCE RATING REQUIRED BETWEEN HOUSE & GARAGE CAN BE ACHIEVED WITH ONE LAYER 5/8" TYPE X DRYWALL ON GARAGE SIDE AND ONE LAYER 1/2" TYPE X DRYWALL ON THE HOUSE SIDE.

IF HORIZONTAL CONSTRUCTION IS USED TO SEPARATE THE GARAGE FROM LIVING AREA OR BONUS AREAS ABOVE, THEN ONE LAYER OF 5/8" TYPE X DRYWALL ON THE CEILING IS REQUIRED. WHERE THE HORIZONTAL CONSTRUCTION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO PROTECTED BY 5/8" TYPE X DRYWALL.

STRUCTURAL MATERIAL SPECIFICATIONS:

STRUCTURAL STEEL ASTM A-36, Fy = 36 ksi
REINFORCED STEEL ASTM A-615, Fy = 40 ksi

WIRE MESH

PLYWOOD

LVL, PSL, LSL

ALL STUCTURAL MEMBERS, JOISTS, RAFTERS, ETC.
TO BE #2 GRADE LUMBER (DOUGLAS FIR-LARCH, HEM-FIR, SOUTHERN PINE OR SPRUCE PINE-FIR)

ASTM A-185, 6 x 6 - 10/10 W.W.M.

WITH A MIN. FIBER STRESS OF 850 P.S.I.

UNLESS NOTED OTHERWISE

CDX, PANEL INDEX

Fb = 2600

Fv = 285

MASONRY ASTM C90, GRADE N-1, Fm = 1350 PSI

MORTAR ASTM C270, TYPE S

GROUT Fc = 2000 PSI ASTM C476

CONCRETE Fc = 2500 PSI MIN. (FOOTINGS, BASEMENT SLAB)
Fc = 3500 PSI MIN. (GARAGE SLAB, PORCH SLAB, &
POURED FOUNDATION IIIALIS)

ASTM A307, Fy - 33 KSI

DESIGN CRITERIA: (FOR GREATER ROCHESTER AREA & ADJACENT COUNTIES)

LOCAL JURISDICTION DESIGN CRITERIA MAY VARY AND

SHALL BE STRICTLY ADHERED TO

1ST FLOOR 40 P.S.F.
LIVING AREA LIVE LOAD

2ND FLOOR 30 P.S.F.
LIVING AREA LIVE LOAD

1ST & 2ND FLOOR DEAD LOAD 15 P.S.F.

GROUND SNOW LOAD 40 P.S.F.

ROOF DEAD LOAD 10 P.S.F.

ALLOWABLE SOIL BEARING
2500 P.S.F. AT MINIMUM
42" BELOW FINISHED GRADE

WIND SPEED 115 MPH, EXPOSURE B
SEISMIC DESIGN CATEGORY B
WEATHERING SEVERE
FROST LINE DEPTH 42 INCHES
TERMITE DAMAGE SLIGHT TO MODERATE

DECAY DAMAGE

WINTER DESIGN TEMPERATURE

ICE SHEILD UNDERLAYMENT

REQUIRED 24" INSIDE OF EXTERIOR WALL LINE

FLOOD HAZARD FIRM - 2008

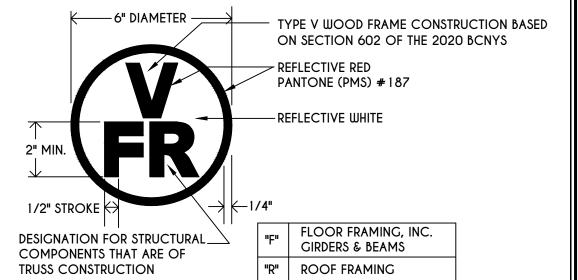
ROOF TIE DOWN REQUIREMENTS

ROOF DESIGN

TRUSS IDENTIFICATION:

IDENTIFICATION OF FLOOR AND ROOF TRUSS CONSTRUCTION SHALL BE PROVIDED BY SIGN OR SYMBOL & SHALL BE AFFIXED TO THE EXTERIOR WALL OF THE RESIDENTIAL STRUCTURE IN COMPLIANCE WITH 19 NYCRR PART 1264 & 1265. RESIDENTIAL STRUCTURES WITH TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION AND / OR TIMBER CONSTRUCTION.

R802.11, BASED UPON SPECIFIC



"FR" | FLOOR & ROOF FRAMING

ture, P.C.

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REVISIONS:

DATE BY DESCRIPTION

CLIENT/LOCATION:

LOT 5
BRIDLERIDGE
PITTSFORD, NY

BUILDER:

COVENTRY RIDGE BUILDING CORP.

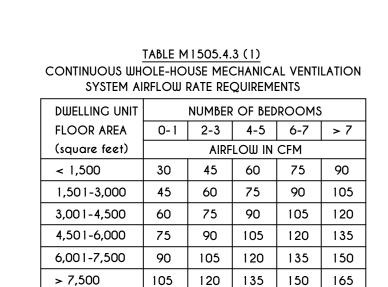
COVER PAGE

GLA PLAN 3135

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scale: date:
AS NOTED 5 / 24

PROJECT: sheet:

15439C



FOR SI: 1 square foot=0.0929 m2, 1 cubic foot per min=0.0004719 m3/s

b. Extrapolation beyond the table is prohibited.

TABLE M1505.4.3 (2) INTERMITTENT WHOLE-HOUSE MECAHANICAL VENTILATION RATE FACTORS a,b IN EA. 4-HOUR SEGMENT | 25% | 33% | 50% | 66% | 75% | 100% RUN-TIME PERCENTAGE 4 3 2 1.5 1.3 1.0

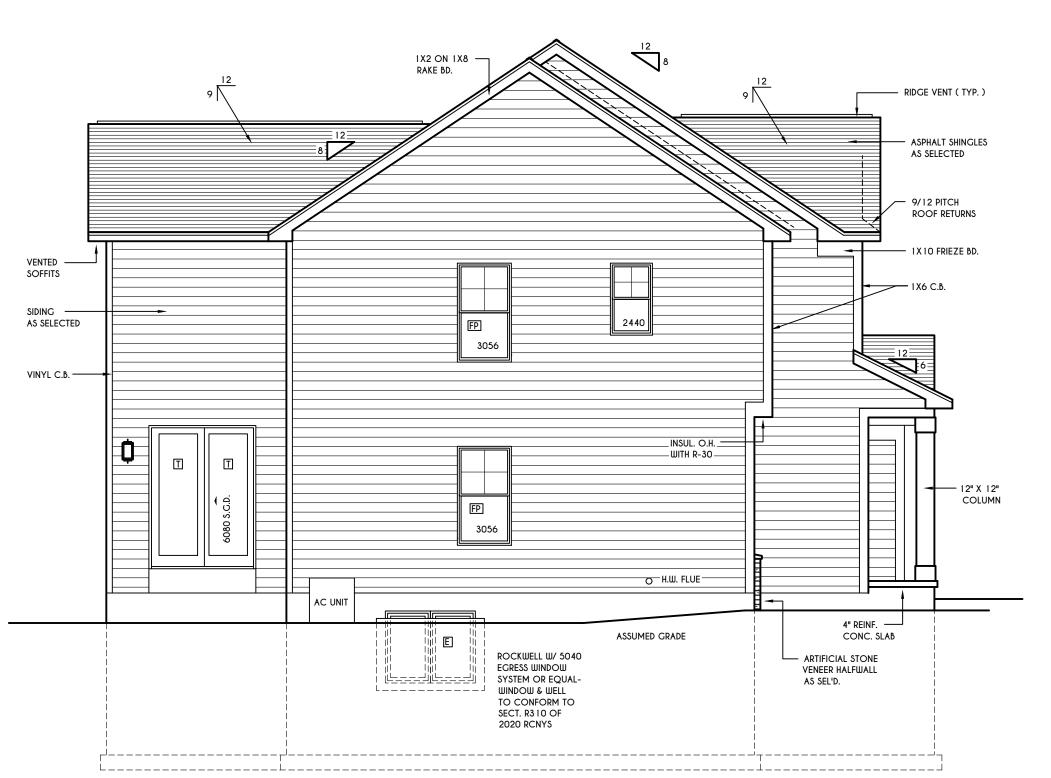
a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.

TABLE M 1505.4.4

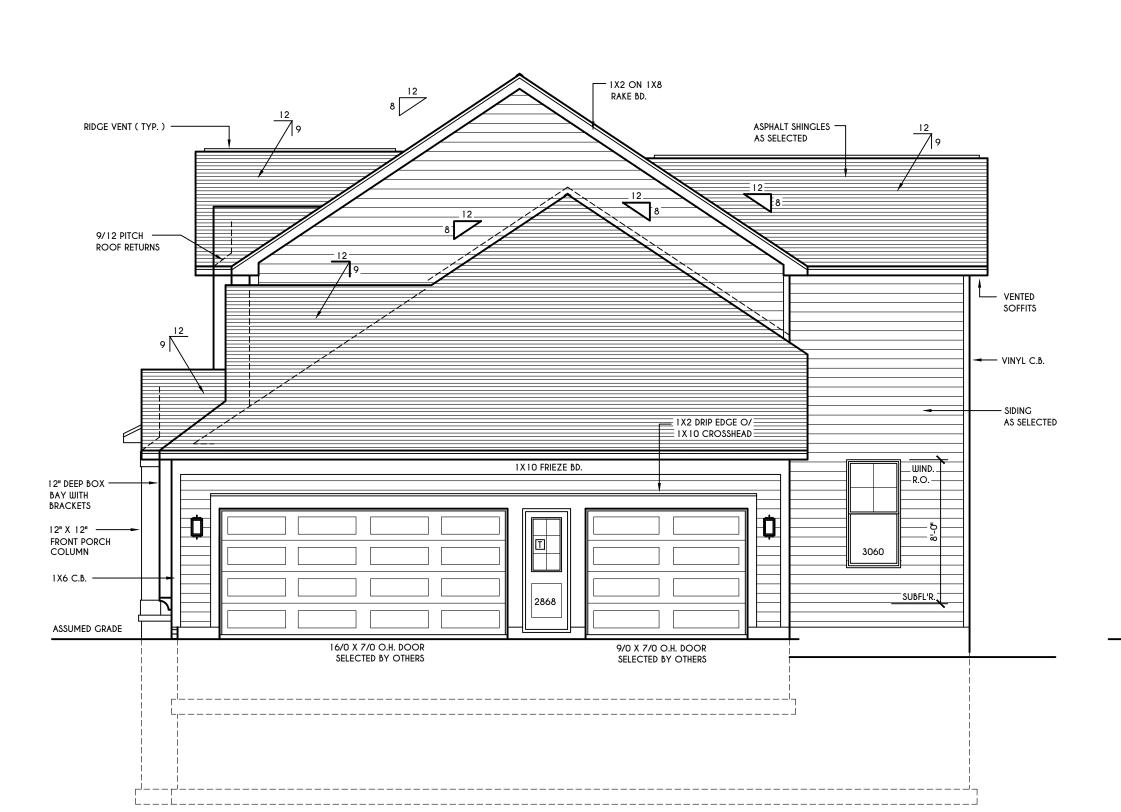
MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOUS
BATHROOMS- TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

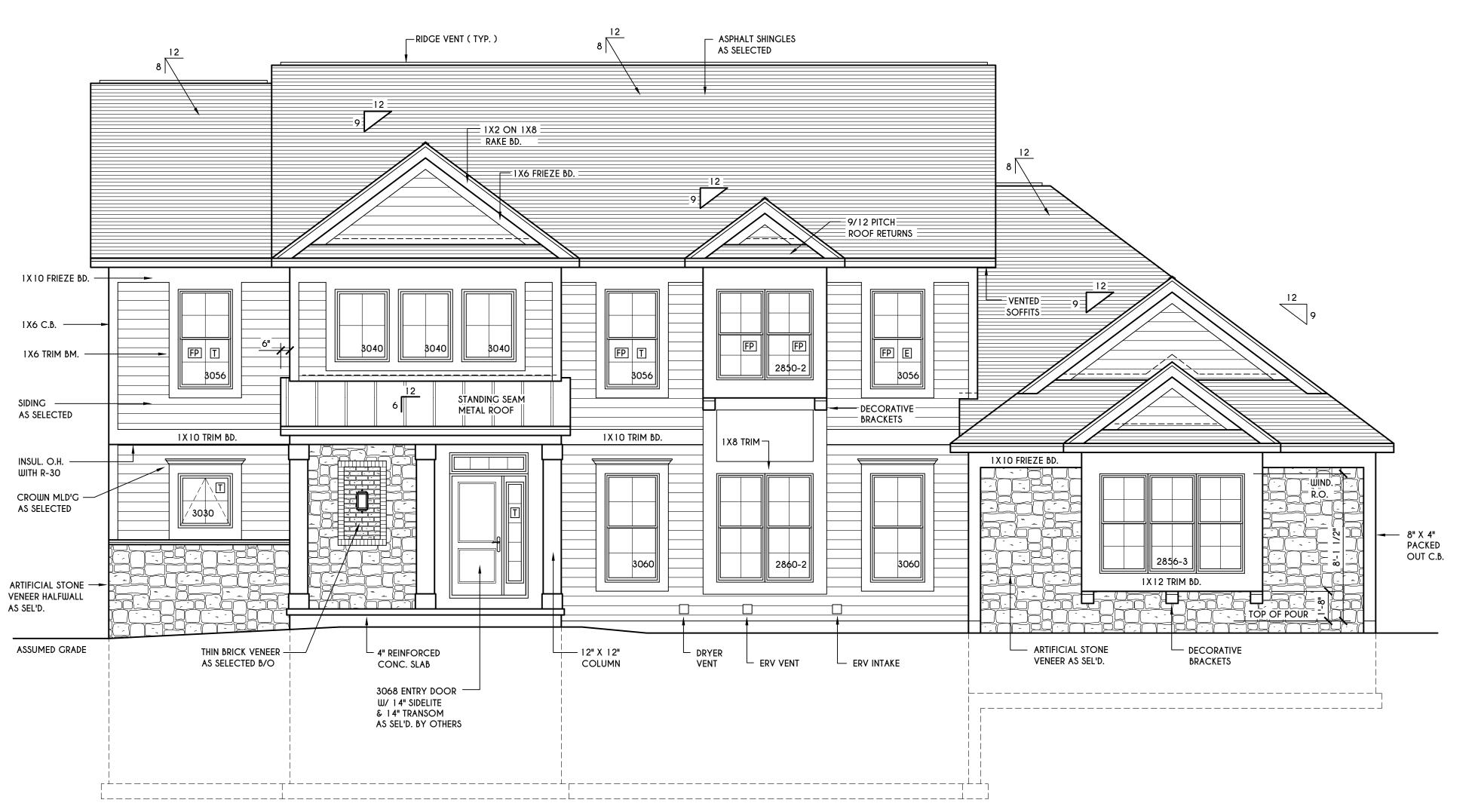
FOR SI: 1 CUBIC FT. PER MINUTE = 0.0004719 m 3/s.







RIGHT ELEVATION



FRONT ELEVATION

= 3135 SQ.FT.

SCALE: 1/4" = 1'-0"

TOTAL LIVING AREA

= 1570 SQ.FT. FIRST FLOOR LIVING AREA SECOND FLOOR LIVING AREA = 1565 SQ.FT.

TOTAL CONDITIONED VOLUME = 43,654 CU.FT. (CONTRACTOR TO VERIFY)



REAR ELEVATION

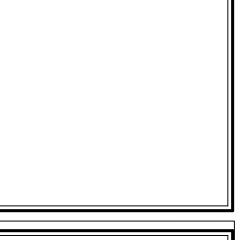
SCALE: 3/16" = 1'-0"

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Ι.			
	REVISI	ONS	
	DATE	BY	DESCRIPTION

CLIENT/LOCATION:

HARVEY

U-FACTOR 0.30 SHGC 0.27 SELECTION BY OWNER

AIR INFILTRATION RATE FOR WINDOWS,

SKYLIGHTS, & SLIDING DOORS TO BE NO

MORE THAN 0.3 cfm/sf. & SWING DOORS NO MORE THAN 0.5 cfm/sf. AS PER SECT.

E = MEETS OR EXCEEDS EGRESS REQUIREMENTS

- CLEAR OPENING AREA OF 5.7 SQ.FT. - CLEAR OPENING WIDTH OF 20" - CLEAR OPENING HEIGHT OF 24"

PER SECT. R310.1 OF 2020 RCNYS

T = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS

FP = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL

ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS

BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE

VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)

CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE

DEPICTED IS INACCURATE AND / OR WILL ALTER

THE DESIGN AND / OR STRUCTURE NOTED.

THIS PLAN AS DESIGNED REQUIRES (MIN) 1 CONTINUOUSLY RUN EXHAUST FAN

4/12 PITCH ROOFS OR SHALLOWER

MECHANICAL VENTILATION RATE:

CAPABLE OF (MIN) 90 c.f.m. WITH A MANUAL OVERIDE SWITCH AS PER SECTION M1505.4.2 OF 2020 RCNYS SEE TABLES M1505.4.3(1) & M1505.4.3(2)

& M1505.4.4 (PAGE 1)

TO HAVE 2 LAYERS 15# FELT

PROTECTION PER SECT. R312.2 OF 2020 RCNYS

R402.4.3 OF 2020 ECCCNYS

WINDOW / DOOR LEGEND:

GENERAL NOTES:

NOTED OTHERWISE

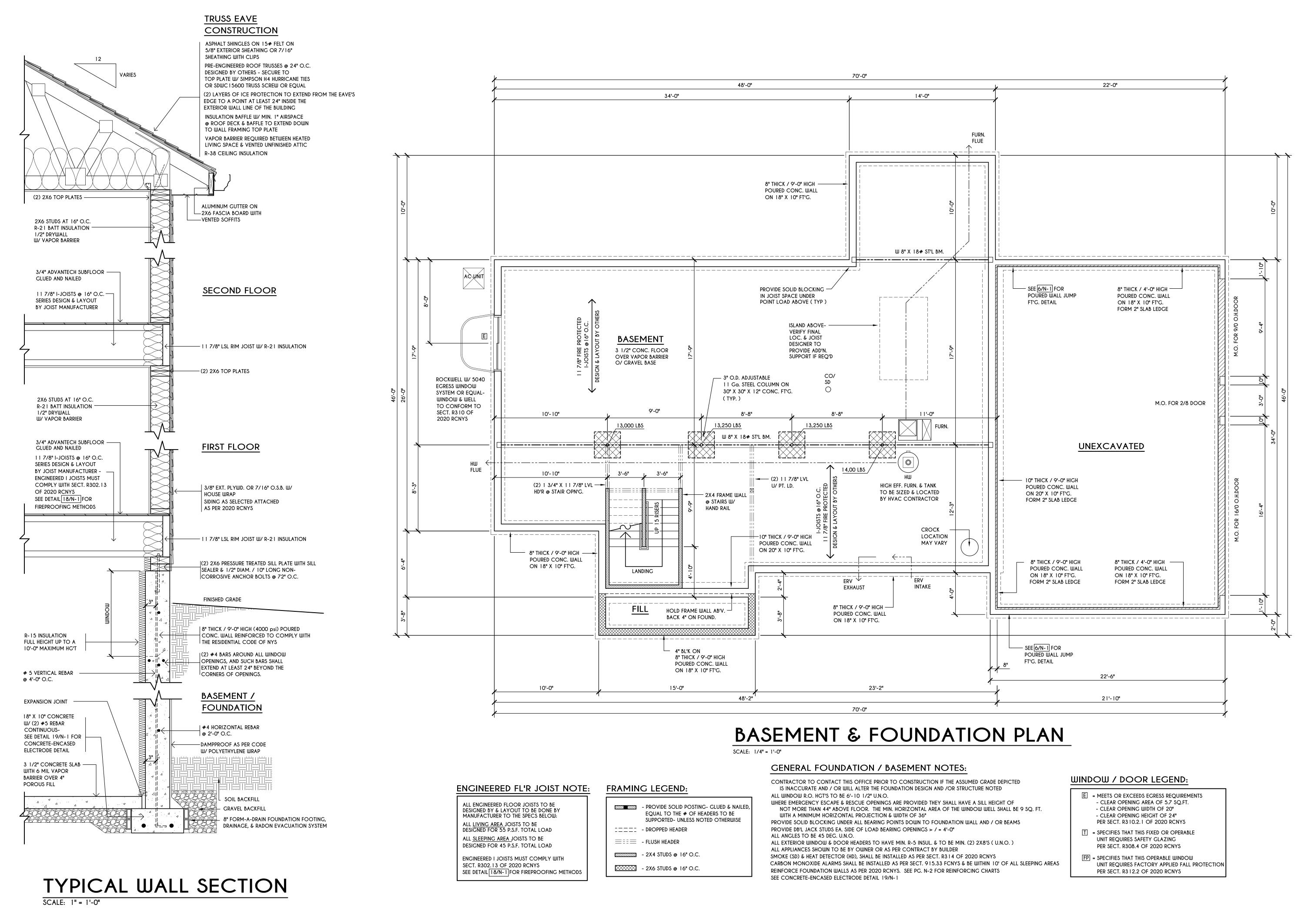
LOT 5 BRIDLERIDGE PITTSFORD, NY

BUILDER:

COVENTRY RIDGE BUILDING CORP.

ELEVATIONS

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REVISIONS:							
DATE	ВҮ	DESCRIPTION					
	+						

CLIENT/LOCATION:

LOT 5 BRIDLERIDGE PITTSFORD, NY

BUILDER:

COVENTRY RIDGE BUILDING CORP.

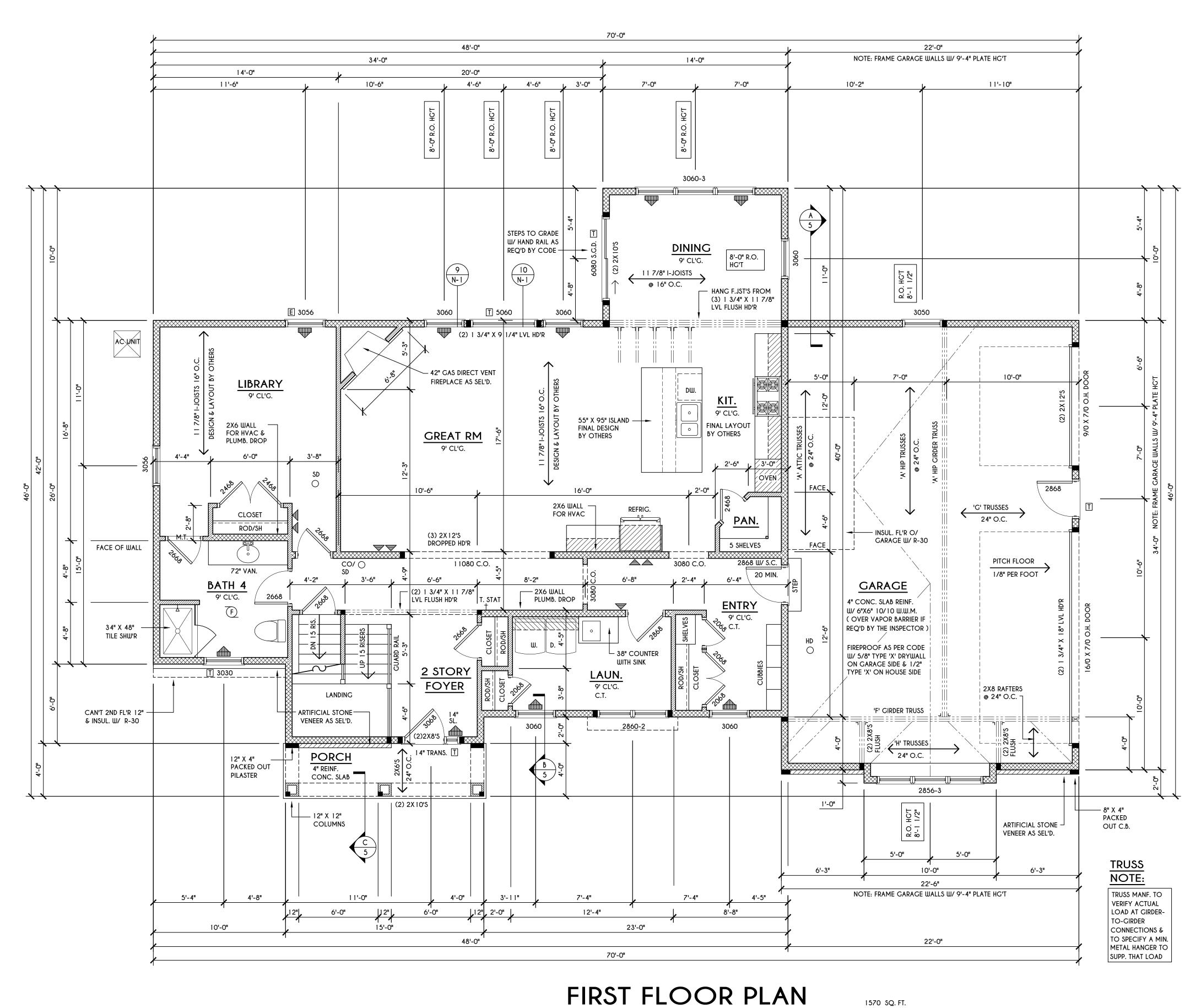
FOUNDATION PLAN

GLA PLAN 3135

drawn: checked: CSB scale: date:
AS NOTED 5 / 24

PROJECT: sheet:

15439C



PLOT PLAN

SCALE: 1" = 50'-0"

ENGINEERED FLOOR JOIST NOTE:

ALL ENGINEERED FLOOR JOISTS TO BE DESIGNED BY & LAYOUT TO BE DONE BY MANUFACTURER TO THE SPECS BELOW: ALL <u>LIVING AREA</u> JOISTS TO BE DESIGNED FOR 55 P.S.F. TOTAL LOAD

FRAMING LEGEND:

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE ---- - DROPPED HEADER ≡≣≣ - FLUSH HEADER

ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O. ALL ANGLES TO BE 45 DEG. U.N.O.

SCALE: 1/4" = 1'-0"

GENERAL FIRST FLOOR PLAN NOTES: FIRST FLOOR PLATE HG'T TO BE 9'-1 1/8" (UNLESS NOTED OTHERWISE)

PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL PROVIDE DB'L JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0" ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2)2X8'S (U.N.O.) ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R3 1 4 OF 2020 RCNYS

CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS IF AN AUTOMATIC GARAGE DOOR OPENER IS PROVIDED, IT SHALL BE LISTED IN ACCORDANCE W/ UL 325 THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

WINDOW / DOOR LEGEND:

E = MEETS OR EXCEEDS EGRESS REQUIREMENTS - CLEAR OPENING AREA OF 5.7 SQ.FT. - CLEAR OPENING WIDTH OF 20" - CLEAR OPENING HEIGHT OF 24" PER SECT. R310.2.1 OF 2020 RCNYS

T = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS

FP = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION PER SECT. R312.2 OF 2020 RCNYS

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BUILDER:

COVENTRY RIDGE BUILDING CORP.

FIRST FLOOR PLAN

GLA PLAN 3135

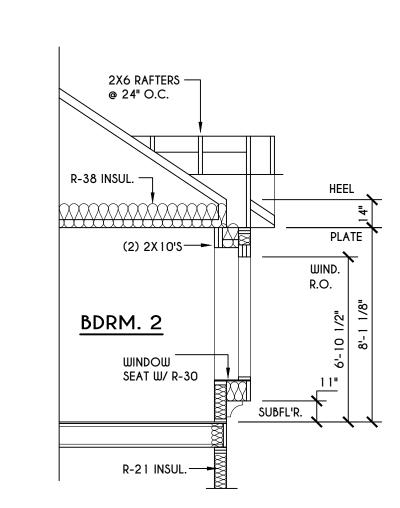
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AS NOTED	5 / 24			
PROJECT:	sheet:			
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ALL <u>SLEEPING AREA J</u>OISTS TO BE DESIGNED

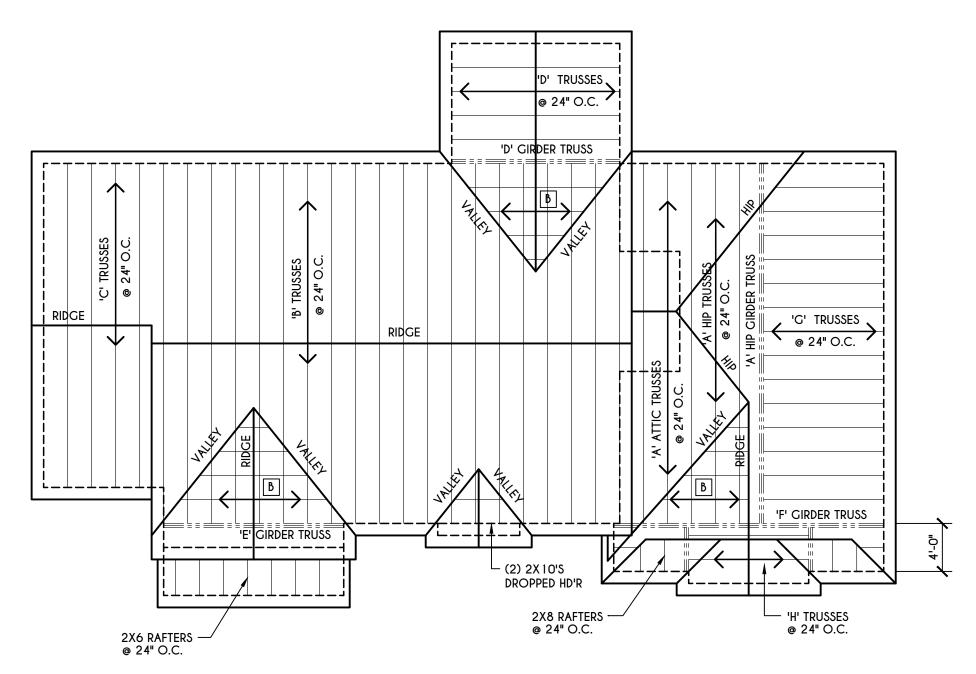
FOR 45 P.S.F. TOTAL LOAD

- 2X6 STUDS @ 16" O.C.

- 2X4 STUDS @ 16" O.C.



WINDOW SEAT DETAIL SCALE: 1/4" = 1'-0"



ROOF PLAN

SCALE: 1/8" = 1'-0"

A – 2X8 LAYOVER RAFTERS 24" O.C. $\mathbb{B}-\frac{2 \text{X6 LAYOVER}}{\text{RAFTERS 24" O.C.}}$ GENERAL ROOF NOTES:

ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE ALL NON-STRUCTURAL VALLEYS TO HAVE 2X12 SLEEPER ATTACHED TO PLYWOOD ROOF SHEATHING THIS FRAMING DIAGRAM IS INTENDED TO BE SCHEMATIC AND POSITION OF MEMBERS MAY BE ALTERED TO SUIT ACTUAL FIELD CONDITIONS 4/12 PITCH ROOFS OR SHALLOWER TO HAVE 2 LAYERS 15# FELT

FRAMING LEGEND:

- PROVIDE SOLID POSTING- GLUED & NAILED, EQUAL TO THE # OF HEADERS TO BE SUPPORTED- UNLESS NOTED OTHERWISE ---- - DROPPED HEADER ==== - FLUSH HEADER √/////// - 2X4 STUDS @ 16" O.C.

- 2X6 STUDS @ 16" O.C.

10'-0"

SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

GENERAL SECOND FLOOR PLAN NOTES:

SECOND FLOOR PLATE HG'T TO BE 8'-1 1/8" (UNLESS NOTED OTHERWISE) ALL WINDOW R.O. HGT'S TO BE 6'-10 1/2" U.N.O.

PROVIDE SOLID BLOCKING UNDER ALL BEARING POINTS DOWN TO FOUNDATION WALL PROVIDE DB'L JACK STUDS EA. SIDE OF LOAD BEARING OPENINGS > / = 4'-0" ALL ANGLES TO BE 45 DEG. U.N.O.

ALL EXTERIOR WINDOW & DOOR HEADERS TO HAVE MIN. R-5 INSUL. & TO BE MIN. (2) 2X8'S (U.N.O.) ALL APPLIANCES SHOWN TO BE BY OWNER OR AS PER CONTRACT BY BUILDER

CARBON MONOXIDE ALARMS SHALL BE INSTALLED AS PER SECT. 915.33 FCNYS & BE WITHIN 10' OF ALL SLEEPING AREAS THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWER OR TUBS.

SMOKE (SD) & HEAT DETECTOR (HD), SHALL BE INSTALLED AS PER SECT. R3 14 OF 2020 RCNYS

53'-0"

7'-10"

6'-10"

23'-0"

WINDOW / DOOR LEGEND:

E = MEETS OR EXCEEDS EGRESS REQUIREMENTS - CLEAR OPENING AREA OF 5.7 SQ.FT. - CLEAR OPENING WIDTH OF 20" - CLEAR OPENING HEIGHT OF 24"

T = SPECIFIES THAT THIS FIXED OR OPERABLE UNIT REQUIRES SAFETY GLAZING PER SECT. R308.4 OF 2020 RCNYS

FP = SPECIFIES THAT THIS OPERABLE WINDOW UNIT REQUIRES FACTORY APPLIED FALL PROTECTION

5'-0"

53'-0" 34'-0" 14'-0" 5'-0" 12'-0" 9'-6" 8'-6" 7'-11" ما "4'-2" 3'-11" 7'-0" 7'-0" FP E 3056-3 'D' TRUSSES 24" O.C. DESIGN & LAYOUT BY TRUSS MANF. MAIN BEDRM. 'D' GIRDER TRUSS FP E 3056 FP E 3056-2 3050 FP -----(2) 2X10'S BDRM. 3 BDRM. 4 4'-0" (2) ROD/SH (1) ROD/SH HALFWALL W/ GLASS ATTIC ACCESS — PANÉL ROD/SH (1) ROD/SH (2) ROD/SH 84" VAN. W/ MIRROR - INSUL. FLOOR C.T. OVER GARAGE **BALCONY** 34" X 48"¬ W/ R-30 ⊼ SHOWER BDRM. 2 GUARD RAIL 32" X 60" TUB SHOWER UNIT FOYER : 12'-6" 3056 T FP ˈ __ (2) 2X 10'S -BALLOON FRAME 2X6 WALL & FIREBLOCK DROPPED HD'R LANDING -AS PER CODE FIRST FLOOR BELOW INSUL. E 3056 FP 'E' GIRDER TRUSS O.H. W/ R-30 2850-2 FP 3040 3040 2'-0" L-----5'-4" 4'-0" 3'-6" 3'-6" 4'-0" 3'-11" 3'-11" 3'-5" 3'-5" 4'-5" 3'-11"

1565 SQ.FT.

8'-4"

PER SECT. R3 10.2.1 OF 2020 RCNYS

PER SECT. R312.2 OF 2020 RCNYS

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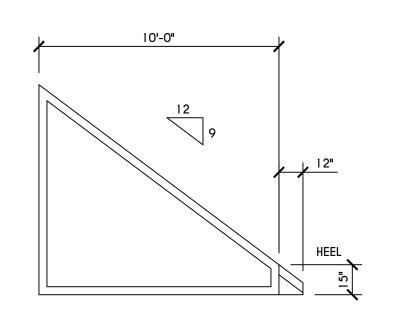
LOT 5 BRIDLERIDGE PITTSFORD, NY

BUILDER:

COVENTRY RIDGE BUILDING CORP.

SECOND FLOOR PLAN

drawn:	checked:
CDK	CSB
scale:	date:
AS NOTED	5 / 24
PROJECT:	sheet:
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'G' TRUSS PROFILE SCALE: 1/4" = 1'-0"

10'-0" 5'-0" 12 9 HEEL

'H' TRUSS PROFILE

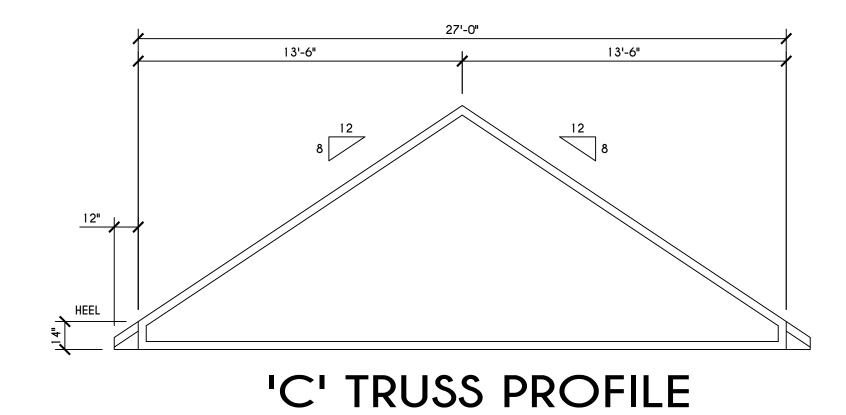
SCALE: 1/4" = 1'-0"

TRUSS NOTES:

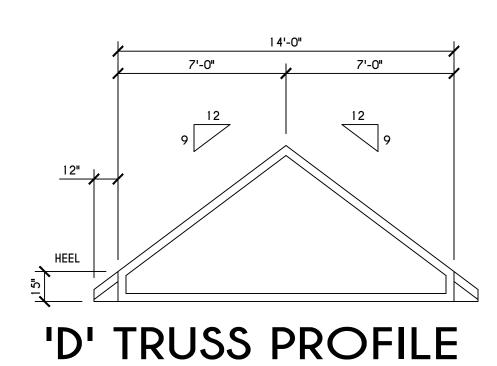
TRUSS PROFILE SHOWN FOR REFERENCE ONLY - MANUFACTURER IS RESPONISBLE

FOR CHORD LAYOUT AS REQ'D FOR DESIGN LOAD TRUSS MANUFACTURER TO VERIFY ACTUAL LOAD AT GIRDER-TO-GIRDER

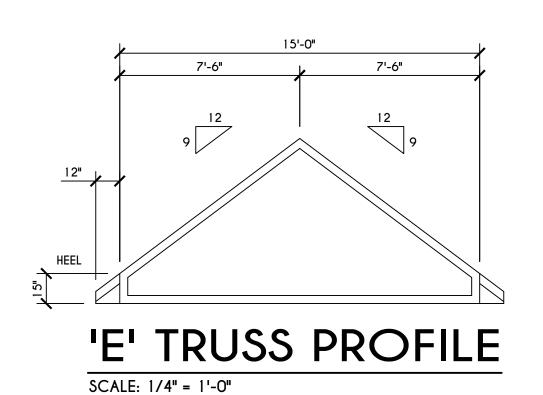
CONNECTIONS & TO SPECIFY A MIN. METAL HANGER TO SUPP. THAT LOAD PROVIDE TRUSS BRACING AS INDICATED BY TRUSS DESIGNER

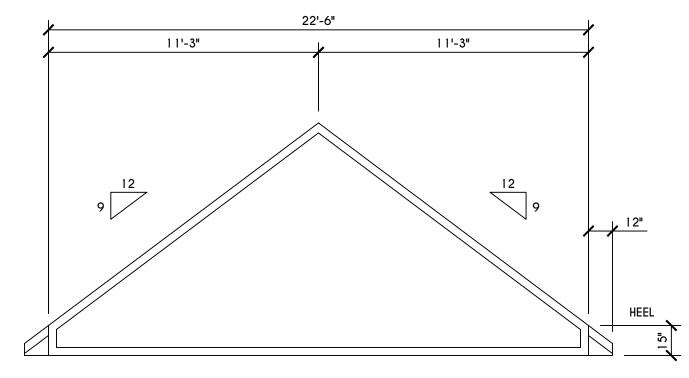


SCALE: 1/4" = 1'-0"



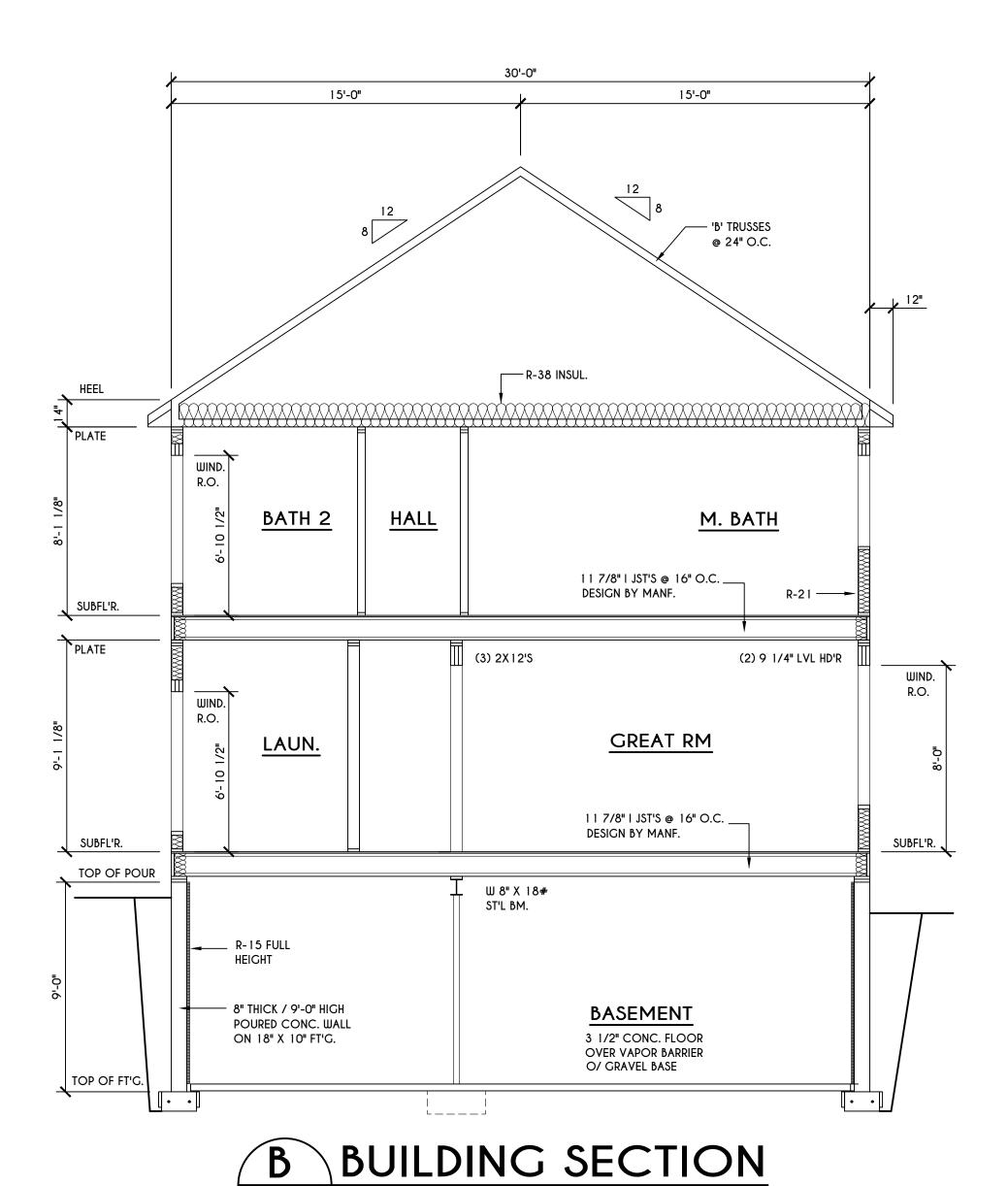
SCALE: 1/4" = 1'-0"

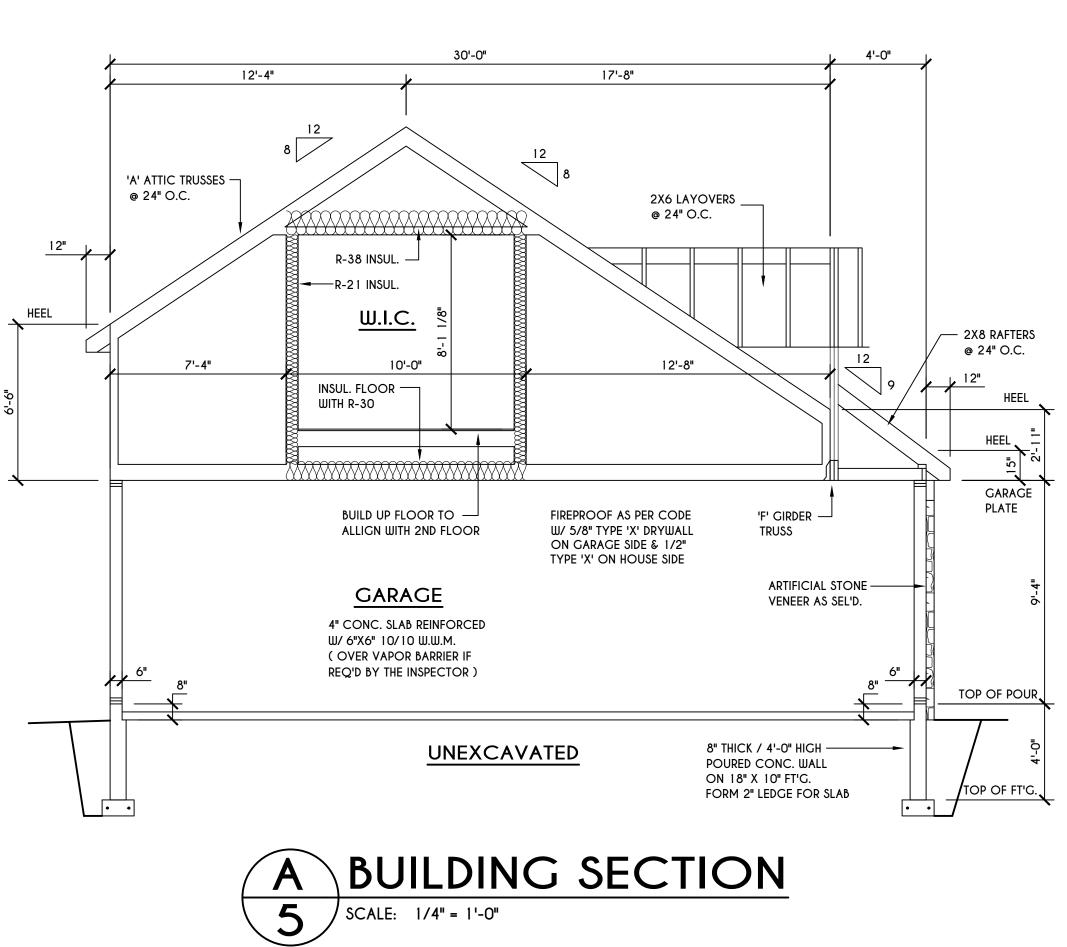


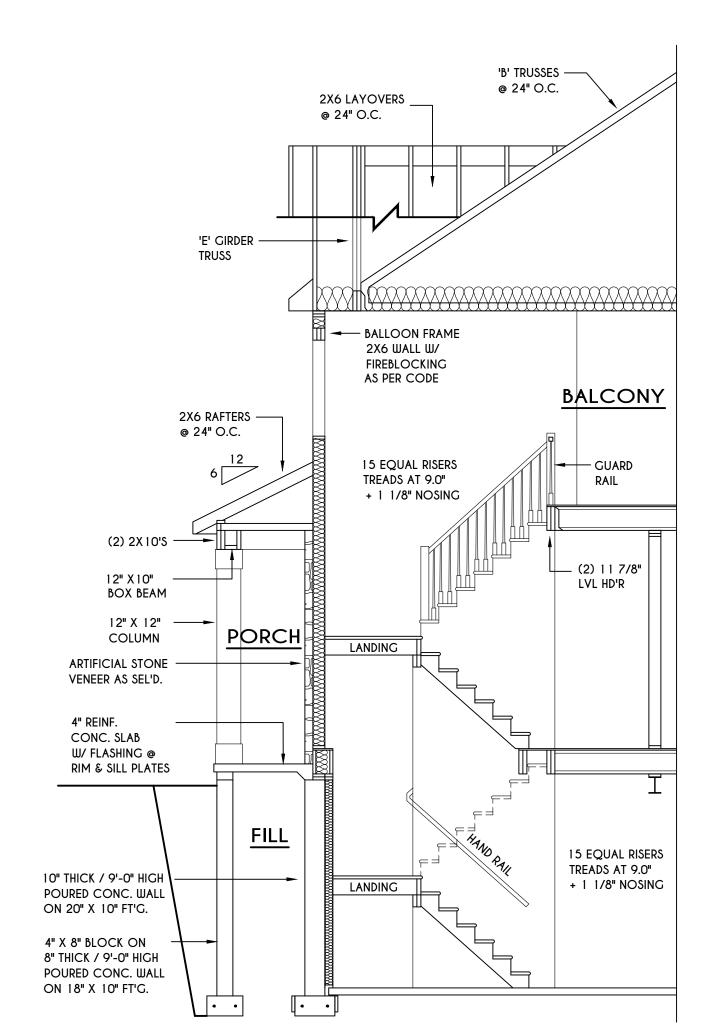




SCALE: 1/4" = 1'-0"









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	REVISI	ONS:	
	DATE	BY	DESCRIPTION

CLIENT/LOCATION:

LOT 5
BRIDLERIDGE
PITTSFORD, NY

BUILDER:

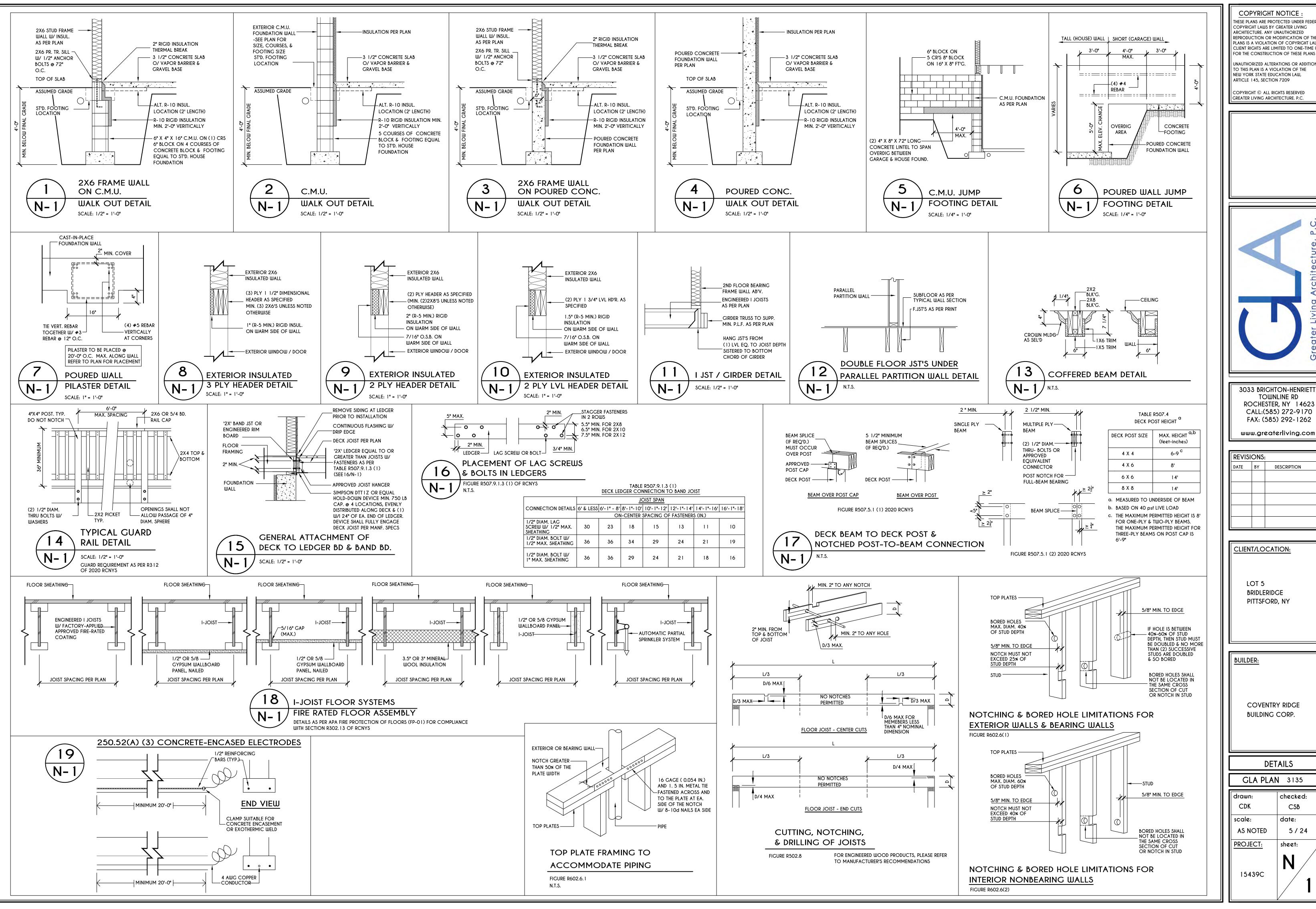
COVENTRY RIDGE
BUILDING CORP.

SECTIONS

GLA PLAN 3135

drawn: checked: CDK CSB
scale: date: AS NOTED 5 / 24

PROJECT: sheet: 5



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REVISIONS: DATE BY DESCRIPTION

CLIENT/LOCATION: LOT 5 BRIDLERIDGE PITTSFORD, NY

COVENTRY RIDGE BUILDING CORP.

DETAILS

GLA PLAN 3135

checked: CSB date: **AS NOTED** 5/24 PROJECT: sheet: 15439C

TABLE R404.1.1(2)

8-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE d > 5 INCHES a, c, fMINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) b, c SOIL CLASSES AND LATERAL SOIL LOAD d (psf PER FOOT BELOW GRADE GW, GP, SW, AND SP SOILS GM, GS, SM-SC AND ML SOILS SC, MH, ML-CL AND INORGANIC CL SOILS WALL HEIGHT BACKFILL® #4 @ 48" O.C. 4' (OR LESS) #4 @ 48" O.C. 6'-8" #4 @ 48" O.0 #4 @ 48" O.0 #4 @ 48" O. 6'-8" #6 @ 48" O.C. #4 @ 48" O.C #5 @ 48" O.0 4' (OR LESS #4 @ 48" O.C. #4 @ 48" O.C. #4 @ 48" O.C. #4 @ 48" O.C #4 @ 48" O.C #4 @ 48" O.C. 7'-4" #5 @ 48" O.C #5 @ 48" O.C #5 @ 48" O.C #6 @ 40" O.C. 4' (OR LESS) #4 @ 48" O.C. 8'-0" #4 @ 48" O.C. #5 @ 48" O.C. #5 @ 48" O.C. #5 @ 48" O.C. #6 @ 40" O.C. #6 @ 32" O.C. 4' (OR LESS #4 @ 48" O.C #4 @ 48" O.C #4 @ 48" O.C. #5 @ 48" O.C. #4 @ 48" O.C #4 @ 48" O.C #4 @ 48" O.C #6 @ 48" O.C #5 @ 48" O.C #6 @ 48" O.C #6 @ 40" O.C. 8'-8" 4' (OR LESS #4 @ 48" O.C #4 @ 48" O.C. #4 @ 48" O.C. #4 @ 48" O.C. #4 @ 48" O.C. #5 @ 48" O.C. #4 @ 48" O.C. #5 @ 48" O.C. #6 @ 48" O.C. 9'-4" #5 @ 48" O.C. #6 @ 48" O.C. #6 @ 40" O.C. #6 @ 48" O.C #6 @ 40" O.C #6 @ 24" O.C #6 @ 16" O.C. 4' (OR LESS #4 @ 48" O.C. #4 @ 48" O.C. #4 @ 48" O.C. #4 @ 48" O.C #5 @ 48" O.C. #4 @ 48" O.0 #5 @ 48" O.C #6 @ 48" O.0 10'-0" #5 @ 48" O.C #6 @ 48" O.C #6 @ 32" O.C.

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.

#6 @ 48" O.C

#6 @ 40" O.C.

#6 @ 32" O.

b. ALTERNATIVE REINFORCING BAR SIZES AND SPACING'S SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENT DOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES DO, D1 AND D2.

c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE

#6 @ 32" O.C

#6 @ 24" O.C

#6 @ 16" O.C

#6 @ 24" O.C.

#6 @ 16" O.C.

#6 @ 16" O.C.

CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 5 INCHES.

d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R405.1.

6. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL. WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL, MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.

f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R404.1.1(3)

	10-INCH	H MASONRY FOUNDATION W	ALLS WITH REINFORCING WHERE	d > 6.75 INCHES ^{a, c ,f}				
			1 VERTICAL REINFORCEMENT AND					
			SOIL CLASSES AND LATERAL SOIL LOAD ^d (psf PER FOOT BELOW GRADE)					
WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL [©]	GW, GP, SW, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MH, ML-CL AND INORGANIC CL SOILS 60				
6'-8"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.				
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.				
	6'-8"	#4 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.				
7'-4"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.				
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.				
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#5 @ 56" O.C.				
	7'-4"	#4 @ 56" O.C.	#5 @ 56" O.C.	#6 @ 56" O.C.				
8'-0"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.				
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.				
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#5 @ 56" O.C.				
	7'	#4 @ 56" O.C.	#5 @ 56" O.C.	#6 @ 56" O.C.				
	8'	#5 @ 56" O.C.	#6 @ 56" O.C.	#6 @ 48" O.C.				
8'-8"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.				
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.				
	6'	#4 @ 56" O.C.	#4 @ 56" O.C.	#5 @ 56" O.C.				
	7'	#4 @ 56" O.C.	#5 @ 56" O.C.	#6 @ 56" O.C.				
	8'-8"	#5 @ 56" O.C.	#6 @ 56" O.C.	#6 @ 32" O.C.				
9'-4"	4' (OR LESS)	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.				
	5'	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 56" O.C.				
	6'	#4 @ 56" O.C.	#5 @ 56" O.C.	#5 @ 56" O.C.				
	7'	#4 @ 56" O.C.	#5 @ 56" O.C.	#6 @ 56" O.C.				
	8'	#5 @ 56" O.C.	#6 @ 56" O.C.	#6 @ 40" O.C.				
	9'-4"	#6 @ 56" O.C.	#6 @ 40" O.C.	#6 @ 24" O.C.				
10'-0"	4' (OR LESS) 5' 6' 7' 8' 9'	#4 @ 56" O.C. #4 @ 56" O.C. #4 @ 56" O.C. #5 @ 56" O.C. #5 @ 56" O.C. #6 @ 56" O.C. #6 @ 48" O.C.	#4 @ 56" O.C. #4 @ 56" O.C. #5 @ 56" O.C. #6 @ 56" O.C. #6 @ 48" O.C. #6 @ 40" O.C. #6 @ 32" O.C.	#4 @ 56" O.C. #4 @ 56" O.C. #5 @ 56" O.C. #6 @ 48" O.C. #6 @ 40" O.C. #6 @ 24" O.C. #6 @ 24" O.C.				

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.

b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENTDOES NOT EXCEED 72" IN SEISMIC DESIGN CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES DD, D1 AND D2.

c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 6.75 INCHES.

d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R405.1.

e. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL. WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL, MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR

f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R404.1.1(4)

12-INCH MASONRY FOUNDATION WALLS WITH REINFORCING WHERE d > 8.75 INCHES ^{Q, C, f}

MINIMUM VERTICAL REINFORCEMENT AND SPACING (INCHES) ^{b, c}

SOIL CLASSES AND LATERAL SOIL LOAD ^d (psf PER FOOT BELOW GRAD

		SOIL CLASSE	ES AND LATERAL SOIL LOAD ^d (psf PER FOOT BELOW GRADE)
WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL [®]	GW, GP, SW, AND SP SOILS 30	GM, GS, SM-SC AND ML SOILS 45	SC, MH, ML-CL AND INORGANIC CL SOILS 60
6'-8"	4' (OR LESS) 5' 6'-8"	#4 @ 72" O.C. #4 @ 72" O.C. #4 @ 72" O.C.	#4 @ 72" O.C. #4 @ 72" O.C. #4 @ 72" O.C.	#4 @ 72" O.C. #4 @ 72" O.C. #5 @ 72" O.C.
7'-4"	4' (OR LESS) 5' 6' 7'-4"	#4 @ 72" O.C. #4 @ 72" O.C. #4 @ 72" O.C. #4 @ 72" O.C.	#4 @ 72" O.C. #4 @ 72" O.C. #4 @ 72" O.C. #5 @ 72" O.C.	#4 @ 72" O.C. #4 @ 72" O.C. #5 @ 72" O.C. #6 @ 72" O.C.
8'-0"	4' (OR LESS) 5' 6' 7' 8'	#4 @ 72" O.C. #4 @ 72" O.C. #4 @ 72" O.C. #4 @ 72" O.C. #5 @ 72" O.C.	#4 @ 72" O.C. #4 @ 72" O.C. #4 @ 72" O.C. #5 @ 72" O.C. #6 @ 72" O.C.	#4 @ 72" O.C. #4 @ 72" O.C. #5 @ 72" O.C. #6 @ 72" O.C. #6 @ 64" O.C.
8'-8"	4' (OR LESS) 5' 6' 7' 8'-8"	#4 @ 72" O.C. #4 @ 72" O.C. #4 @ 72" O.C. #4 @ 72" O.C. #5 @ 72" O.C.	#4 @ 72" O.C. #4 @ 72" O.C. #4 @ 72" O.C. #5 @ 72" O.C. #7 @ 72" O.C.	#4 @ 72" O.C. #4 @ 72" O.C. #5 @ 72" O.C. #6 @ 72" O.C. #6 @ 48" O.C.
9'-4"	4' (OR LESS) 5' 6' 7' 8' 9'-4"	#4 @ 72" O.C. #4 @ 72" O.C. #4 @ 72" O.C. #4 @ 72" O.C. #5 @ 72" O.C. #6 @ 72" O.C.	#4 @ 72" O.C. #4 @ 72" O.C. #5 @ 72" O.C. #5 @ 72" O.C. #6 @ 72" O.C. #6 @ 48" O.C.	#4 @ 72" O.C. #4 @ 72" O.C. #5 @ 72" O.C. #6 @ 72" O.C. #6 @ 56" O.C. #6 @ 40" O.C.
10'-0"	4' (OR LESS) 5' 6' 7' 8' 9'	#4 @ 72" O.C. #4 @ 72" O.C. #4 @ 72" O.C. #4 @ 72" O.C. #5 @ 72" O.C. #6 @ 72" O.C.	#4 @ 72" O.C. #4 @ 72" O.C. #5 @ 72" O.C. #6 @ 72" O.C. #6 @ 72" O.C. #6 @ 56" O.C. #6 @ 40" O.C.	#4 @ 72" O.C. #4 @ 72" O.C. #5 @ 72" O.C. #6 @ 72" O.C. #6 @ 48" O.C. #6 @ 40" O.C. #6 @ 32" O.C.

a. MORTAR SHALL BE TYPE M OR S AND MASONRY SHALL BE LAID IN RUNNING BOND.
 b. ALTERNATIVE REINFORCING BAR SIZES AND SPACINGS SHALL HAVE AN EQUIVALENT CROSS-SECTIONAL AREA OF REINFORCEMENT PER LINEAL FOOT OF WALL SHALL BE PERMITTED PROVIDED THE SPACING OF THE REINFORCEMENTDOES NOT EXCEED 72" IN SEISMIC DESIGN

CATEGORIES A, B AND C, AND 48 INCHES IN SEISMIC DESIGN CATEGORIES DO, D1 AND D2.

c. VERTICAL REINFORCEMENT SHALL BE GRADE 60 MINIMUM. THE DISTANCE FROM THE FACE OF THE SOIL SIDE OF THE WALL TO THE CENTER OF VERTICAL REINFORCEMENT SHALL BE NOT LESS THAN 8.75 INCHES.

d. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM AND DESIGN LATERAL SOIL LOADS ARE FOR MOIST CONDITIONS WITHOUT HYDROSTATIC PRESSURE. REFER TO TABLE R405.1.

2. UNBALANCED BACKFILL HEIGHT IS THE DIFFERENCE IN HEIGHT BETWEEN THE EXTERIOR FINISH GROUND LEVEL AND THE LOWER OF THE

TOP OF THE CONCRETE FOOTING THAT SUPPORTS THE FOUNDATION WALL OR THE INTERIOR FINISH GROUND LEVEL. WHERE AN INTERIOR CONCRETE SLAB-ON-GRADE IS PROVIDED AND IS IN CONTACT WITH THE INTERIOR SURFACE OF THE FOUNDATION WALL, MEASUREMENT OF THE UNBALANCED BACKFILL HEIGHT FROM THE EXTERIOR FINISH GROUND LEVEL TO THE TOP OF THE INTERIOR CONCRETE SLAB IS PERMITTED.

f. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R404.1.2(8)

		MINIMUM	VERTICAL I	REINFORCE	MENI	FOR 6-, 8-	, IU- AND	12-INCH NO	MINAL FL	AT BASEME	NI WALLS		, ., ., .,
			MINIMUM VERTICAL REINFORCEMENT-BAR SIZE & SPACING (inches)										
				SOIL CLASS	SESa	AND DESIG	N LATERAL	SOIL (ps	f PER FOO	OT OF DEPT	H)		
	MAXIMUM UNBALANCED	Gl	IJ, GP, SW, A 30			GM	, GS, SM-SG 45	C AND ML		SC, MH, M	L-CL AND I 60	NORGANIC	CL
MAXIMUM WALL HEIGHT	BACKFILL HEIGHT ⁹		30		ІМІМІ	I UM WALL TI		INCHES)			00		
(FEET)	(FEET)	6	8	10	12	6	8	10	12	6	8	10	12
	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
5	5	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
4	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
6	5	NR	NR	NR	NR	NR	NR ¹	NR	NR	#4 @ 35"	NR 1	NR	NR
	6	NR	NR	NR	NR	#5 @ 48"	NR	NR	NR	#5 @ 36"	NR	NR	NR
	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
7	5	NR	NR	NR	NR	NR	NR	NR	NR	#5 @ 47"	NR	NR	NR
7	6	NR	NR	NR	NR	#5 @ 42"	NR	NR	NR	#6 @ 43"	#5 @ 48"	NR ¹	NR
	7	#5 @ 46"	NR	NR	NR	#6 @ 42"	#5 @ 46"	NR ¹	NR	#6@34"	#6 @ 48"	NR	NR
	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	#4@38"	NR ¹	NR	NR	#5 @ 43"	NR	NR	NR
8	6	#4@37"	NR ¹	NR	NR	#5 @ 37"	NR	NR	NR	#6 @ 37"	#5 @ 43"	NR ¹	NR
	7	#5 @ 40"	NR	NR	NR	#6 @ 37"	# 5 @ 41"	NR ¹	NR	#6 @ 34"	#6 @ 43"	NR	NR
	8	#6 @ 43"	#5 @ 47"	NR ¹	NR	#6@34"	#6 @ 43"	NR	NR	#6 @ 27"	#6 @ 32"	#6 @ 44"	NR
	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	#4@35"	NR ¹	NR	NR	#5 @ 40"	NR	NR	NR
9	6	#4@34"	NR ¹	NR	NR	#6 @ 48"	NR	NR	NR	#6 @ 36"	#6 @ 39"	NR ¹	NR
	7	#5 @ 36"	NR	NR	NR	#6@34"	#5 @ 37"	NR	NR		#6 @ 38"		
	8	#6 @ 38"	#5 @ 41"	NR	NR	#6 @ 33"		#5 @ 37"	NR I		#6 @ 29"		_
	9	#6 @ 34"	#6 @ 46"	NR	NR	#6 @ 26"	#6 @ 30"	#6@41"	NR	#6@19"		#6 @ 30"	#6@
	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	#4@33"	NR ¹	NR	NR	#5 @ 38"	NR	NR	NR
10	6	#5 @ 48"	NR I	NR	NR	#6 @ 45"	NR	NR	NR		#5 @ 37"	NR	NR
	7	#6 @ 47"	NR	NR	NR	#6@34"		NR	NR		#6 @ 35"		1111
	8	#6@34"	#5 @ 38"	NR	NR	#6 @ 30"		#6@47"	NR I			#6 @ 35"	_
	9	#6@34"	#6@41"			#6@23"	#6 @ 27"	#6 @ 35"				#6 @ 27"	
	10	#6 @ 28"	#6 @ 33"	#6 @ 45"	NR	DR ^J	#6 @ 23"	#6 @ 29"	#6 @ 38"	DR	#6 @ 22"	#6 @ 22"	#6

a. SOIL CLASSES ARE IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM. REFER TO TABLE R405.1.

b. TABLE VALUES ARE BASED ON REINFORCING BARS WITH A MINIMUM YEID STRENGTH OF 60,000 PSI
c. VERTICAL REINFOREMENT WITH A YIELD STRENGTH OF LESS THAN 60,000 PSI AND / OR BARS OF A DIFFERENT SIZE THAN SPECIFIED IN THE TABLE

ARE PERMITTED IN ACCORDANCE WITH SECTION R404.1.3.3.7.6 AND TABLE R404.1.2 (9)

d. NR INDICATES NO VERTICAL WALL REINFORCEMENT IS REQUIRED, EXCEPT FOR 6-INCH NOMINAL WALLS FORMED WITH STAY-IN-PLACE FORMING

d. NR INDICATES NO VERTICAL WALL REINFORCEMENT IS REQUIRED, EXCEPT FOR 6-INCH NOMINAL WALLS FORMED WITH STAY-IN-PLACE FORMING SYSTEMS IN WHICH CASE VERTICAL REINFORCEMENT SHALL BE NO. 4 @ 48 INCHES ON CENTER.

e. ALLOWABLE DEFLECTION CRITERION IS L/240, WHERE L IS THE UNSUPPORTED HEIGHT OF THE BASEMENT WALL IN INCHES.

f. INTERPOLATION IS NOT PERMITTED.

g. WHERE WALLS WIL REMAIN 4 FEET OR MORE OF UNBALANCED BACKFILL, THEY SHALL BE LATERALLY SUPPORTED AT THE TOP AND BOTTOM BEFORE BACKFILLING.

h. VERTICAL REINFORCEMENT SHALL BE LOCATED TO PROVIDE A COVER OF 1 1/4 INCHES MEASURED FROM THE INSIDE FACE OF THE WALL. THE CENTER OF THE STEEL

SHALL NOT VARY FROM THE SPECIFIED LOCATION BY MORE THAN THE GREATER OF 10 PERCENT OF THE WALL THICKNESS OR 3/8 INCH.

i. Concrete cover for the reinforcement measure from the inside face of the wall shall be not less than 3/4 inch. Concrete cover for reinforcement

MEASURED FROM THE OUTSIDE FACE OF THE WALL SHALL BE NOT LESS THAN 1 1/2 INCHES FOR NO. 5 BARS AND SMALLER, AND NOT LESS THAN 2 INCHES FOR LARGER BARS.

j. DR MEANS DESIGN IS REQUIRED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODE, OR WHERE THERE IS NO CODE, IN ACCORDANCE WITH ACI 318.

k. CONCRETE SHALL HAVE A SPECIFIED COMPRESSIVE STRENGTH, fc OF NOT LESS THAN 2,500 PSI AT 28 DAYS, UNLESS A HIGHER STRENGTH IS REQUIRED BY FOOTNOTE 1 OR m.

I. THE MINIMUM THICKNESS IS PERMITTED TO BE REDUCED 2 INCHES, PROVIDED THE MINIMUM SPECIFIED COMPRESSIVE STRENGTH IS REQUIRED BY FOOTNOTE 1 OR m.

ii. The MINIMUM THICKNESS IS PERMITTED TO BE REDUCED 2 INCHES, PROVIDED THE MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE, to IS 4,000 PSI.
 m. A PLAIN CONCRETE WALL WITH A MINIMUM NOMINAL THICKNESS OF 12 INCHES IS PERMITTED, PROVIDED MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE, to IS 3,500 PSI.

n. SEE TABLE R608.3 FOR TOLERANCE FROM NOMINAL THICKNESS PERMITTED FOR FLAT WALLS.
 o. THE USE OF THIS TABLE SHALL BE PROHIBITED FOR SOIL CLASSIFICATIONS NOT SHOWN.

TABLE R 402.4.1.1 AIR BARRIER AND INSULATION INSTALLATION

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA				
	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE.					
GENERAL REQUIREMENTS	THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER.	AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL.				
	BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED.					
CEILING / ATTIC	THE AIR BARRIER IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SHALL BE SEALED.	THE INSULATION IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER.				
	ACCESS OPENINGS, DROP DOWN STAIRS, OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED.	COTTI GIVEE DE ALIGIED WITH THE ANN DANNER.				
	THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED.	CAVITIES WITH CORNERS AND HEADERS OF FRAME WALLS SHALL BE INSULATED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A THERMAL				
WALLS	THE JUNCTION OF THE TOP PLATE AND THE TOP OF EXTERIOR WALLS SHE BE SEALED.	RESISTANCE OF R-3 PER INCH MINIMUM. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED				
	KNEE WALLS SHALL BE SEALED.	WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER.				
WINDOWS, SKYLIGHTS AND DOORS	THE SPACE BETWEEN WINDOW / DOOR JAMBS AND FRAMING, AND SKYLIGHTS AND FRAMING SHALL BE SEALED.					
RIM JOISTS	RIM JOISTS SHALL INCLUDE THE AIR BARRIER.	RIM JOISTS SHALL BE INSULATED.				
FLOORS (INCLUDING ABOVE GARAGE AND CANTILEVERED FLOORS)	THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.	FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF SUBFLOOR DECKING, OR FLOOR FRAMING CAVITY INSULATION SHALL BE PERMITTED TO BE IN CONTACT WITH THE TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATION INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING AND EXTENDS FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS.				
CRAWL SPACE WALLS	EXPOSED EARTH IN UNVENTED CRAWL SPACES SHALL BE COVERED WITH A CLASS I VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED.	WHERE PROVIDED INSTEAD OF FLOOR INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO THE CRAWLSPACE WALLS.				
SHAFTS, PENETRATIONS	DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING THE EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.					
NARROW CAVITIES		BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.				
GARAGE SEPARATION	AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.					
RECESSED LIGHTING	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL.	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT AND IC RATED.				
PLUMBING AND WIRING		BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING AND PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND WIRING.				
SHOWER / TUB ON EXTERIOR WALL	THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWERS AND TUBS.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED.				
ELECTRICAL / PHONE BOX ON EXTERIOR WALLS	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.					
HVAC REGISTER BOOTS	HVAC REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.					
CONCEALED SPRINKLERS	WHEN REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CAULKING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER PLATES AND WALL OR CEILINGS.					

a. IN ADDITION, INSPECTION OF LOG WALLS SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF ICC-400.

R401.4 SOIL TESTS.

WHERE QUANTIFIABLE DATA CREATED BY ACCEPTED SOIL SCIENCE METHODOLOGIES INDICATE EXPANSIVE, COMPESSIBLE, SHIFTING OR OTHER QUESTIONABLE SOIL CHARACTERISTICS ARE LIKELY TO BE PRESENT, THE BUILDING OFFICIAL SHALL DETERMINE WHETHER TO REQUIRE A SOIL TEST TO DETERMINE THE SOIL'S CHARACTERISTICS AT A PARTICULAR LOCATION. THIS TEST BE DONE BY AN APPROVED AGENCY USING AN APPROVED METHOD.

R401.4.1 GEOTECHNICAL EVALUATION. IN LIEU OF A COMPLETE GEOTECHNICAL EVALUATION, THE LOAD-BEARING VALUES IN TABLE R401.4.1

TABLE R401.4.1

PRESUMPTIVE LOAD-BEARING VALUES OF FOUNDATION MATERIALS

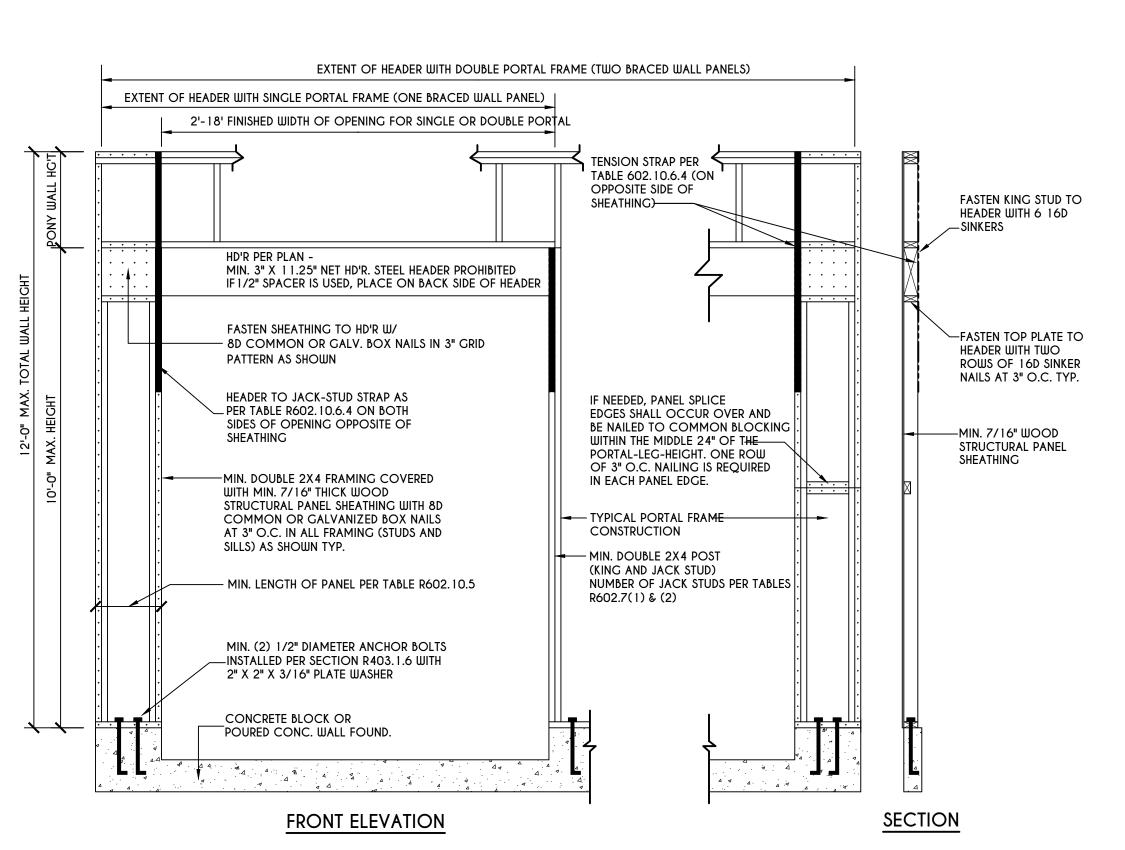
CLASS OF MATERIALS	LOAD-BEARING PRESSURE (pounds per square foot)
CRYSTALLINE BEDROCK	12,000
SEDIMENTARY & FOLIATED ROCK	4,000
SANDY GRAVEL AND/OR GRAVEL (GW & GP)	3,000
SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL, AND CLAYEY GRAVEL (SW, SP, SM, SC, GM, & GC)	2,000
CLAY, SANDY CLAY, SILTY CLAY, CLAYEY SILT, SILT AND SANDY SILT (CL, ML, MH, & CH)	1,500 ^b

a. WHERE SOIL TESTS ARE REQUIRED BY SECTION R401.4, THE ALLOWABLE BEARING CAPACITIES OF THE SOIL SHALL BE PART OF THE RECOMMENDATIONS.

b. WHERE THE BUILDING OFFICIAL DETERMINES THAT IN-PLACE SOILS WITH AN ALLOWABLE BEARING CAPACITY OF LESS THAN 1,500 psf are likely to be present at the site, the allowable bearing capacity shall be determined by a soils investigation.

UNIFIED SOIL CLASSIFICATION SYSTEM

OIVII ILD	JOIL CLASSIFIC
UNIFIED SOIL CLASSIFICATION SYSTEM SYMBOL	
GW	WELL-GRADED GRAVELS, GRAVEL SAND MIXTURES, LITTLE OR NO FINES
GP	POORLY GRADED GRAVELS OR GRAVEL SAND, LITTLE OR NO FINES
SW	WELL-GRADED SANDS, GRAVELLY SANDS, LITTLE OR NO FINES
SP	POORLY GRADED SANDS OR GRAVELLY SANDS, LITTLE OR NO FINES
GM	SILTY GRAVELS, GRAVEL-SAND-SILT MIXTURES
SM	SILTY SAND, SAND-SILT MIXTURES
GC	CLAYEY GRAVELS, GRAVEL-SAND-CLAY MIXTURES
\$C	CLAYEY SANDS, SAND-CLAY MIXTURE MIXTURES
ML	INORGANIC SILTS & VERY FINE SANDS, ROCK FLOUR, SILTY OR CLAYEY FINE SANDS OR CLAYEY SILTS WITH SLIGHT PLASTICITY
CL	INORGANIC CLAYS OF LOW TO MEDIUM PLASTICITY, GRAVELLY CLAYS, SANDY CLAYS, SILTY CLAYS, LEAN CLAYS
СН	INORGANIC CLAYS OF HIGH PLASTICITY, FAT CLAYS
МН	INORGANIC SILTS, MICACEOUS OR DIATOMACEOUS FINE SANDY OR SILTY SOILS, ELASTIC SILTS
OL	ORGANIC SILTS & ORGANIC SILTY CLAYS OF LOW PLASTICITY
ОН	ORGANIC CLAYS OF MEDIUM TO HIGH PLASTICITY, ORGANIC SILTS
PT	PEAT & OTHER HIGHLY ORGANIC SOILS



PORTAL FRAME AT GARAGE DOOR OPENINGS IN SEISMIC DESIGN CATEGORIES A, B, AND C
SCALE: N.T.S. FIGURE R602.10.6.3

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Ι.			
	REVISI	ONS	•
	DATE	BY	DESCRIPTION

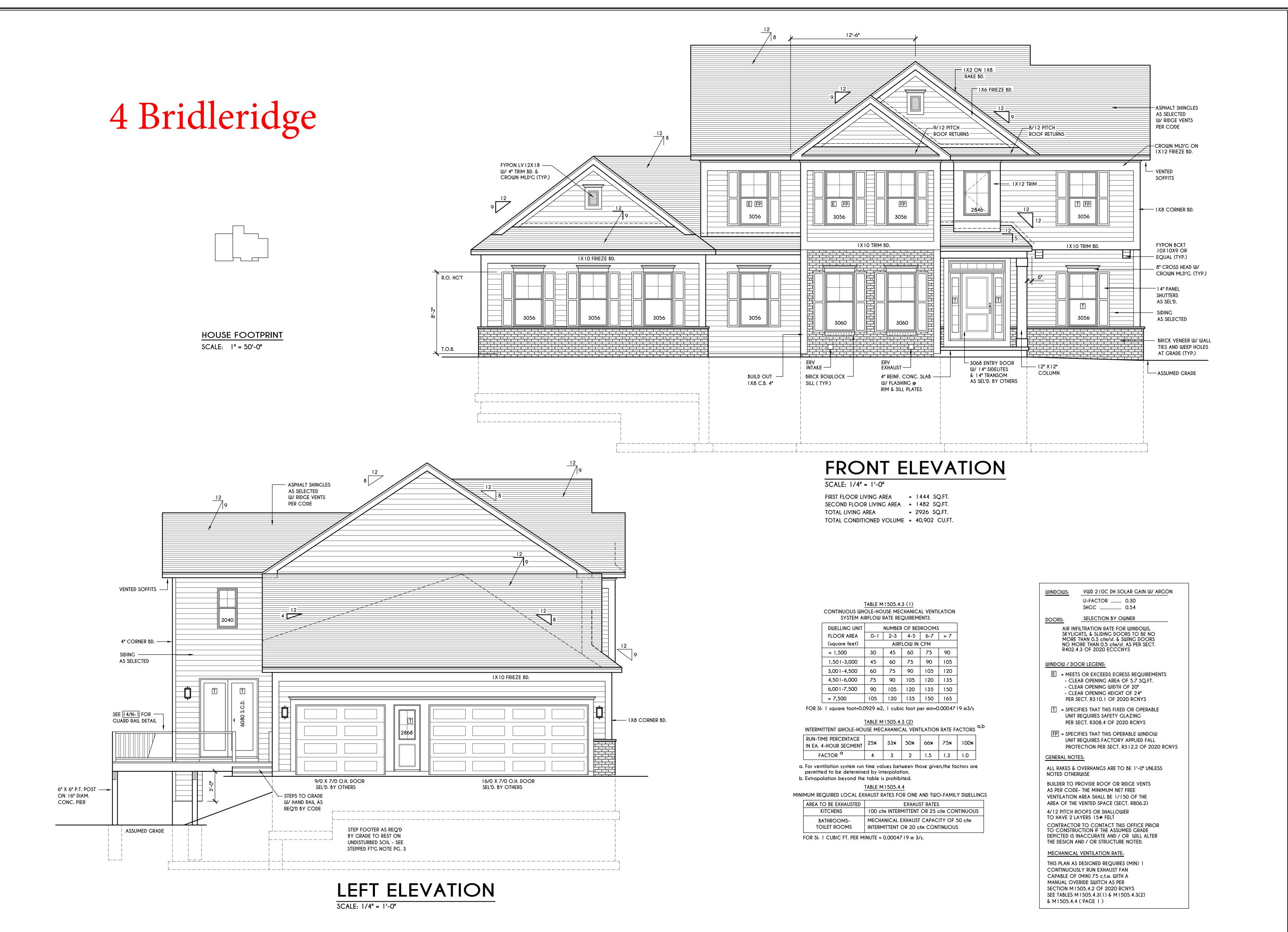
CLIENT/LOCATION:
LOT 5
BRIDLERIDGE
PITTSFORD, NY

BUILDER:	
COVENTRY RIDGE	
BUILDING CORP.	

REINFORCING NOTES

GLA PLAN	3135

drawn:	checked:
CDK	CSB
scale:	date:
AS NOTED	5 / 24
PROJECT:	sheet:
	N/
15439C	



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CLIENT/LOCATION:

SPEC HOUSE
LOT 67 BRIDLERIDGE FARMS
PITTSFORD, NY

BUILDER:

COVENTRY RIDGE

BUILDING CORP.

ELEVATIONS

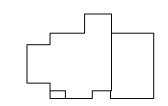
GLA PLAN 2926

drawn: checked: CDK CSB scale: date: AS NOTED 11/23

PROJECT: sheet: 1

15420H





HOUSE FOOTPRINT
SCALE: 1" = 50'-0"

ASPHALT SHINGLES
AS SELECTED

W/ RIDGE VENTS PER CODE

VENTED SOFFITS -

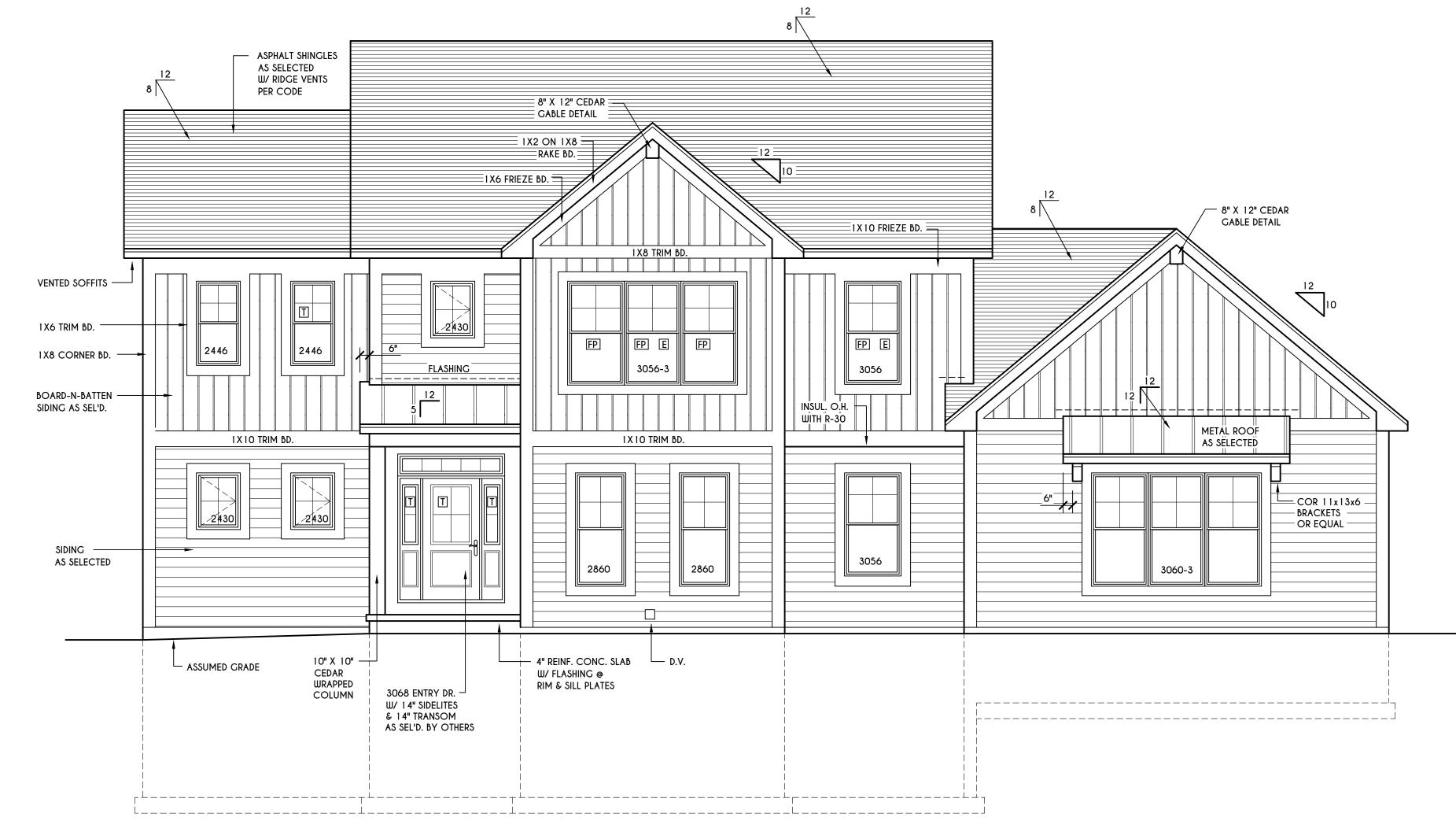
4" VINYL C.B. —

FP

2856

W/ HAND RAIL AS

REQ'D BY CODE



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

1X10 FRIEZE BD.

■ 1X8 CORNER BD.

AS SELECTED

CEDAR

4" REINF. CONC. SLAB

W/ FLASHING @

RIM & SILL PLATES

WRAPPED

COLUMN

FIRST FLOOR LIVING AREA = 1396 SQ.FT. SECOND FLOOR LIVING AREA = 1414 SQ.FT. TOTAL LIVING AREA = 2810 SQ.FT.

TOTAL CONDITIONED VOLUME = 38,224 CU.FT.

TABLE M 1505.4.3 (1) CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

NUMBER OF BEDROOMS					
0-1	2-3	4-5	6-7	> 7	
	AIRFLOW IN CFM				
30	45	60	75	90	
45	60	75	90	105	
60	75	90	105	120	
75	90	105	120	135	
90	105	120	135	150	
105	120	135	150	165	
	30 45 60 75 90	0-1 2-3 AIRF 30 45 45 60 60 75 75 90 90 105	0-1 2-3 4-5 AIRFLOW IN 30 45 60 45 60 75 60 75 90 75 90 105 90 105 120	0-1 2-3 4-5 6-7 AIRFLOW IN CFM 30 45 60 75 45 60 75 90 60 75 90 105 75 90 105 120 90 105 120 135	

FOR SI: 1 square foot=0.0929 m2, 1 cubic foot per min=0.0004719 m3/s

TABLE M1505.4.3 (2

	17 (0 = = 1						- I-
INTERMITTENT WHOLE-HOUSE MECAHANICAL VENTILATION RATE FACTORS a,b							
RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	25%	33%	50%	66%	75%	100%	
FACTOR ^a	4	3	2	1.5	1.3	1.0	

a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.b. Extrapolation beyond the table is prohibited.

TABLE M 1505.4.

MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHENS	100 cfm INTERMITTENT OR 25 cfm CONTINUOL
BATHROOMS-	MECHANICAL EXHAUST CAPACITY OF 50 cfm
TOILET ROOMS	INTERMITTENT OR 20 cfm CONTINUOUS

FOR SI: 1 CUBIC FT. PER MINUTE = 0.0004719 m 3/s.

WINDOWS: VWD 210C DH SOLAR GAIN W/ ARGON U-FACTOR 0.30

SHGC 0.54 DOORS: SELECTION BY OWNER

AIR INFILTRATION RATE FOR WINDOWS, SKYLIGHTS, & SLIDING DOORS TO BE NO MORE THAN 0.3 cfm/sf. & SWING DOORS NO MORE THAN 0.5 cfm/sf. AS PER SECT. R402.4.3 OF 2020 ECCCNYS

WINDOW / DOOR LEGEND:

E = MEETS OR EXCEEDS EGRESS REQUIREMENTS
 - CLEAR OPENING AREA OF 5.7 SQ.FT.
 - CLEAR OPENING WIDTH OF 20"
 - CLEAR OPENING HEIGHT OF 24"
 PER SECT. R310.1 OF 2020 RCNYS

UNIT REQUIRES SAFETY GLAZING
PER SECT. R308.4 OF 2020 RCNYS

FP = SPECIFIES THAT THIS OPERABLE WINDOW

UNIT REQUIRES FACTORY APPLIED FALL

PROTECTION PER SECT. R312.2 OF 2020 RCNYS

T = SPECIFIES THAT THIS FIXED OR OPERABLE

GENERAL NOTES:

ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE

BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)

4/12 PITCH ROOFS OR SHALLOWER
TO HAVE 2 LAYERS 15# FELT
CONTRACTOR TO CONTACT THIS OFFICE PRIOR
TO CONSTRUCTION IF THE ASSUMED GRADE
DEPICTED IS INACCURATE AND / OR WILL ALTER
THE DESIGN AND / OR STRUCTURE NOTED.

MECHANICAL VENTILATION RATE:

THIS PLAN AS DESIGNED REQUIRES (MIN) 1
CONTINUOUSLY RUN EXHAUST FAN
CAPABLE OF (MIN) 75 c.f.m. WITH A
MANUAL OVERIDE SWITCH AS PER
SECTION M1505.4.2 OF 2020 RCNYS
SEE TABLES M1505.4.3(1) & M1505.4.3(2)
& M1505.4.4 (PAGE 1)

REVISIONS:

DATE BY DESCRIPTION

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CLIENT/LOCATION:

THE NEWPORT - SPEC LOT 1 BRIDLERIDGE PITTSFORD, NY

BUILDER:

COVENTRY RIDGE BUILDING CORP.

GLA PLAN 2810

ELEVATIONS

Į	OLA PLAN 2010				
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	scale: AS NOTED	date: 10 / 23			
	PROJECT:	sheet:			
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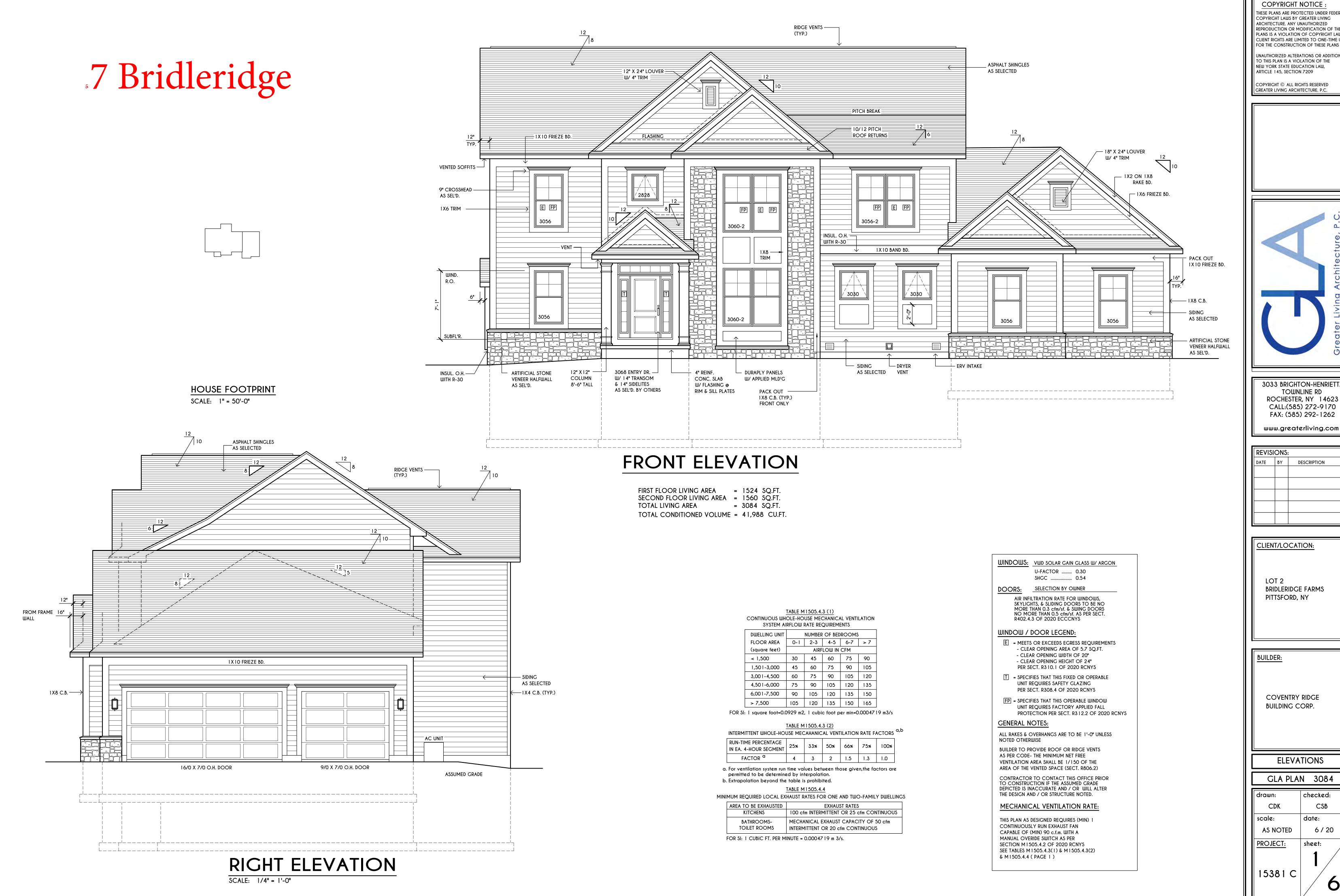
LEFT ELEVATION

SCALE: 1/4" = 1'-0"

2856

2856

ASSUMED GRADE

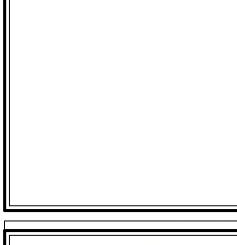


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DATE BY DESCRIPTION	ON

CLIENT/LOCATION:

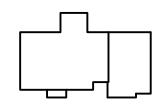
BRIDLERIDGE FARMS

COVENTRY RIDGE BUILDING CORP.

ELEVATIONS

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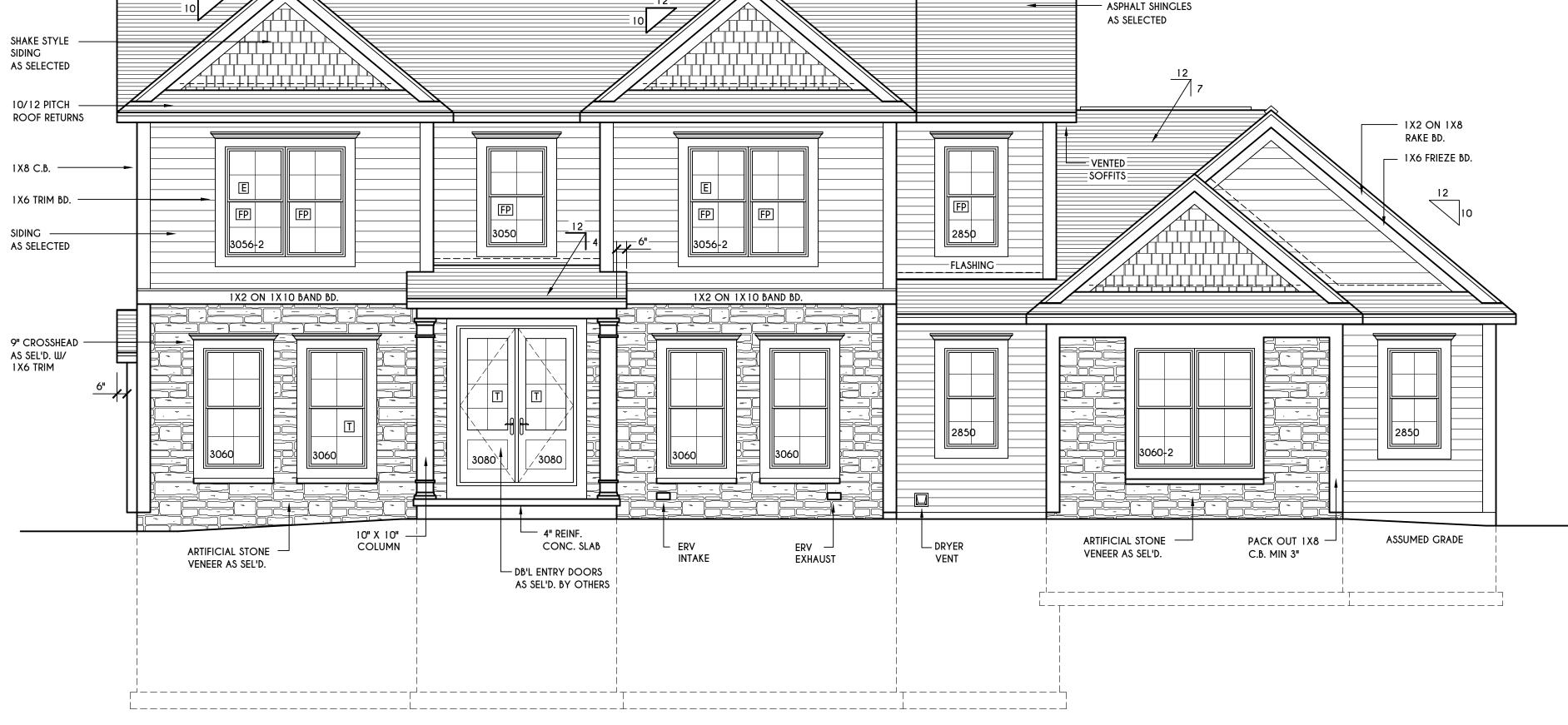


HOUSE FOOTPRINT

SCALE: 1" = 50'-0"

RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



RIDGE VENT (TYP.) —

FRONT ELEVATION

SCALE: 1/4" = 1'-0

FIRST FLOOR LIVING AREA = 1488 SQ.FT.
SECOND FLOOR LIVING AREA = 1517 SQ.FT.
TOTAL LIVING AREA = 3005 SQ.FT.
TOTAL CONDITIONED VOLUME = 40,807 CU.FT.

WINDOWS: VWD SOLAR GAIN GLASS W/ ARGON
U-FACTOR 0.30

R402.4.3 OF 2020 ECCCNYS

WINDOW / DOOR LEGEND:

E = MEETS OR EXCEEDS EGRESS REQUIREMENTS
- CLEAR OPENING AREA OF 5.7 SQ.FT.

- CLEAR OPENING WIDTH OF 20"

NO MORE THAN 0.5 cfm/sf. AS PER SECT.

- CLEAR OPENING HEIGHT OF 24"
PER SECT. R3 10.1 OF 2020 RCNYS

T = SPECIFIES THAT THIS FIXED OR OPERABLE
UNIT REQUIRES SAFETY GLAZING
PER SECT. R308.4 OF 2020 RCNYS

FP = SPECIFIES THAT THIS OPERABLE WINDOW

UNIT REQUIRES FACTORY APPLIED FALL

PROTECTION PER SECT. R312.2 OF 2020 RCNYS

MANUAL OVERIDE SWITCH
SECTION M1505.4.2 OF 2

SEE TABLES M1505.4.3(1)

& M1505.4.4 (PAGE 1)

GENERAL NOTES:

ALL RAKES & OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE
4/12 PITCH ROOFS OR SHALLOWER

BUILDER TO PROVIDE ROOF OR RIDGE VENTS AS PER CODE- THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE (SECT. R806.2)

CONTRACTOR TO CONTACT THIS OFFICE PRIOR TO CONSTRUCTION IF THE ASSUMED GRADE DEPICTED IS INACCURATE AND / OR WILL ALTER THE DESIGN AND / OR STRUCTURE NOTED.

MECHANICAL VENTILATION RATE:

TO HAVE 2 LAYERS 15# FELT

THIS PLAN AS DESIGNED REQUIRES (MIN) 1
CONTINUOUSLY RUN EXHAUST FAN
CAPABLE OF (MIN) 90 c.f.m. WITH A
MANUAL OVERIDE SWITCH AS PER
SECTION M1505.4.2 OF 2020 RCNYS
SEE TABLES M1505.4.3(1) & M1505.4.3(2)

TABLE M 1505.4.3 (1) CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

3131EM AIRFLOW RATE REQUIREMENTS							
	DWELLING UNIT	NUMBER OF BEDROOMS					
	FLOOR AREA	0-1	2-3	4-5	6-7	> 7	
	(square feet)		AIRFLOW IN CFM				
	< 1,500 30 45 60 75 90						
	1,501-3,000	45	60	75	90	105	
	3,001-4,500	60	75	90	105	120	MIN
	4,501-6,000	75	90	105	120	135	
	6,001-7,500	90	105	120	135	150	
	> 7,500	105	120	135	150	165	
FOR SI: 1 square foot=0.0929 m2, 1 cubic foot per min=0.0004719 m3/s							

TABLE M 1 505.4.3 (2) INTERMITTENT WHOLE-HOUSE MECAHANICAL VENTILATION RATE FACTORS a,b

RUN-TIME PERCENTAGE IN EA. 4-HOUR SEGMENT	25%	33%	50%	66%	75%	100%
FACTOR ^a	4	3	2	1.5	1.3	1.0

a. For ventilation system run time values between those given, the factors are permitted to be determined by interpolation.b. Extrapolation beyond the table is prohibited.

TABLE M 1505.4.4

MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO-FAMILY DWELLINGS

AREA TO BE EXHAUSTED EXHAUST RATES

KITCHENS 100 cfm INTERMITTENT OR 25 cfm CONTINUOUS

BATHROOMS- MECHANICAL EXHAUST CAPACITY OF 50 cfm INTERMITTENT OR 20 cfm CONTINUOUS

FOR SI: 1 CUBIC FT. PER MINUTE = 0.0004719 m 3/s.

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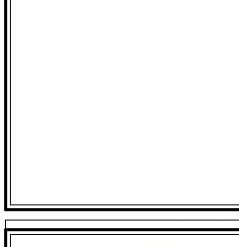
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ARTICLE 145, SECTION 7209





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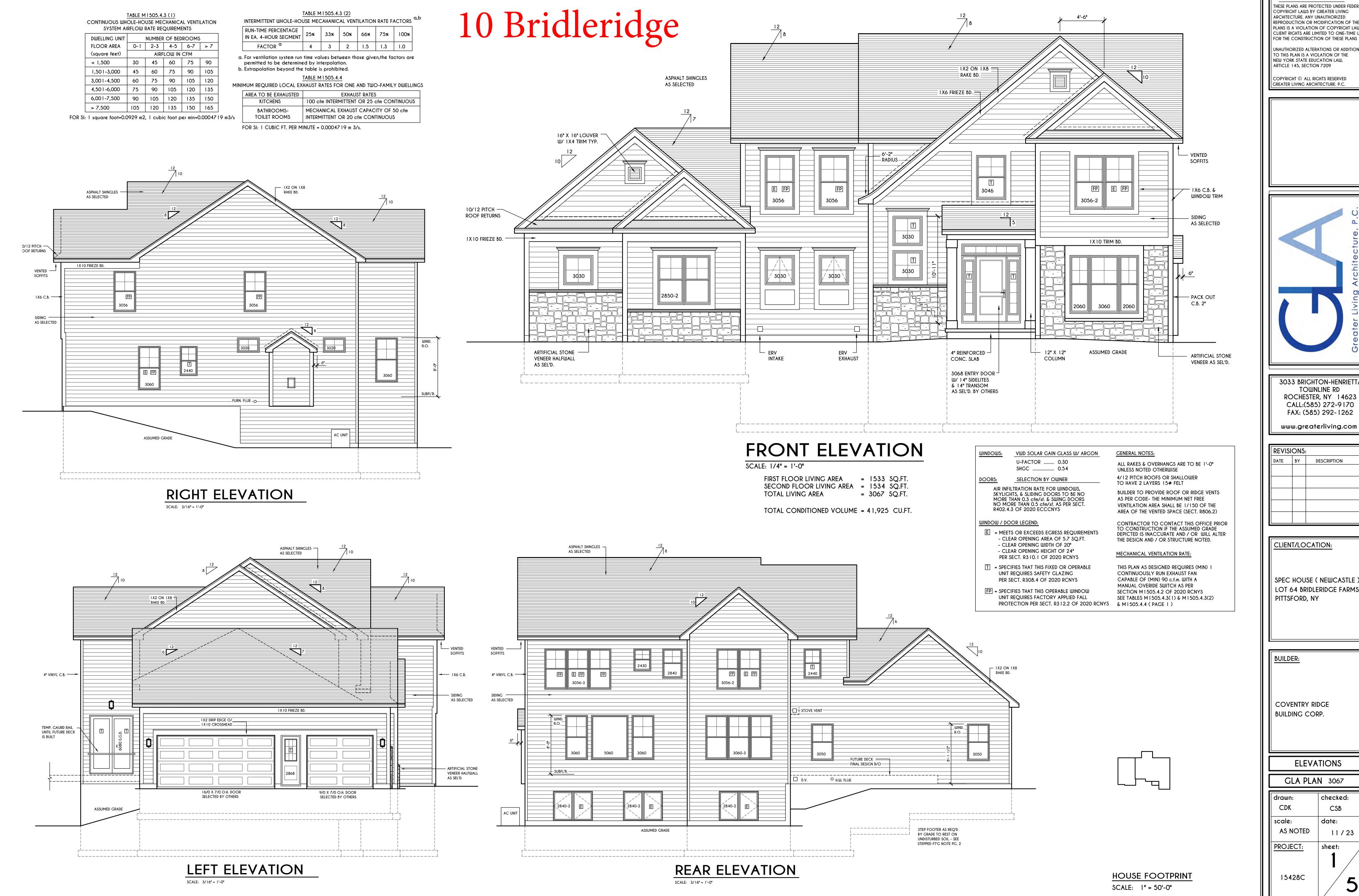
ALT. "LATTIMORE" LOT 3 BRIDLERIDGE FARMS PITTSFORD, NY

BUILDER:

COVENTRY RIDGE BUILDING CORP.

ELEVATIONS

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PROJECT:	sheet:			
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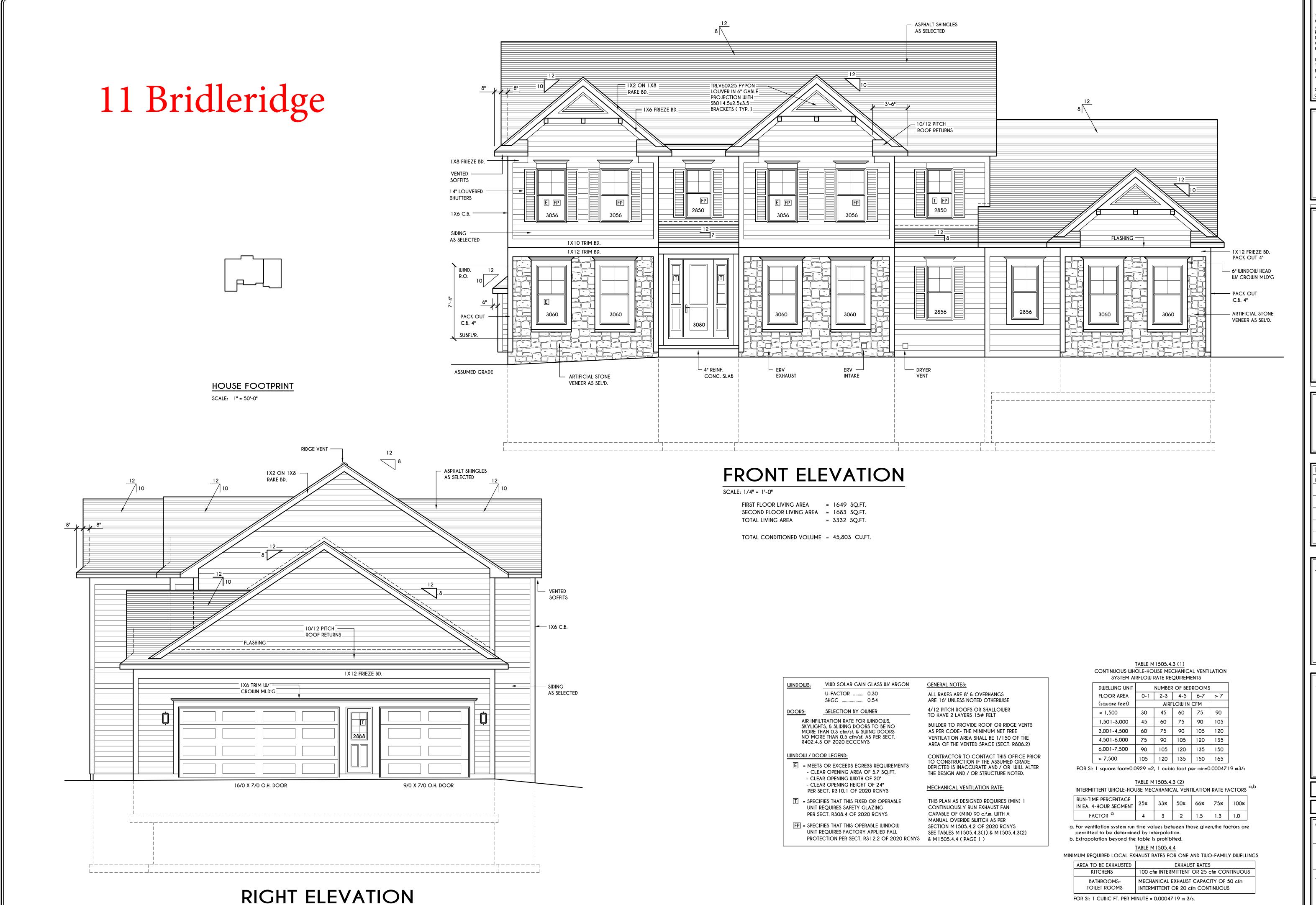
SPEC HOUSE (NEWCASTLE) LOT 64 BRIDLERIDGE FARMS PITTSFORD, NY

BUILDER:

COVENTRY RIDGE BUILDING CORP.

ELEVATIONS

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SCALE: 1/4" = 1'-0"

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CLIENT/LOCATION:

SPEC HOME LOT 4 BRIDLERIDGE FARMS PITTSFORD, NY

BUILDER:

COVENTRY RIDGE

BUILDING CORP.

ELEVATIONS

GLA PLAN 3332

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FOR SI: 1 CUBIC FT. PER MINUTE = 0.0004719 m 3/s.